



**CITY OF ST. PETERSBURG, FLORIDA**  
**PLANNING & DEVELOPMENT SERVICES DEPT.**  
**DEVELOPMENT REVIEW SERVICES DIVISION**

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**STAFF REPORT**  
**DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST**  
**PUBLIC HEARING**

According to Planning & Development Services Department records, no **Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

**REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT**, for Public Hearing and Executive Action on **Wednesday, May 5, 2021 at 1:00 P.M.** at Council Chambers, City Hall, located at 175 5<sup>th</sup> Street North, St. Petersburg, Florida. Procedures will be implemented to comply with the CDC guidelines during the Public Hearing, including mandatory face coverings and social distancing with limitations on the number of attendees within Council Chambers. The City's Planning and Development Services Department requests that you visit the City website at [www.stpete.org/meetings](http://www.stpete.org/meetings) for up-to-date information.

CASE NO.:	21-58000002	PLAT SHEET:	H-26
REQUEST:	Approval of an after-the-fact design variance to the required architectural design standards for a carport in the NT-1 Zoning District.		
OWNER:	Keith Gambaro and Cristina Gustilo 4938 16 <sup>th</sup> Street North Saint Petersburg, Florida 33703-3532		
ADDRESS:	4938 16 <sup>th</sup> Street North		
PARCEL ID NO.:	01-31-16-33876-000-0200		
LEGAL DESCRIPTION:	On File		
ZONING:	Neighborhood Traditional Single-Family (NT-1)		

**Background:**

This application for administrative approval of a design variance has been denied based on the findings described below. The subject property is a corner lot located at the southwest corner of 16th Street North and 50th Avenue North, in the Greater Grovemont Neighborhood Association. The property is zoned NT-1 (Neighborhood Traditional Single-Family) and was developed with the existing one-story single-family residence in 1947 (per property card records). An after-the-fact design variance to the NT-1 zoning district's accessory structure design requirement was applied for by the owner, in response to a Code Enforcement citation 20-00020210, for constructing a detached carport without a permit.

Codes Enforcement citation 20-00020210 was initiated by the Codes Enforcement Department. The codes-initiated citation noted the presence of a residence with a "metal carport/canopy erected at the rear of the structure." The aluminum carport as-built measures 25-feet in length, 12-feet in width, 14-feet in height, approximately 300 square feet, and is partially enclosed with aluminum walls on two sides by extended roof materials.

According to building permit records for the property, permit 20-09001678 was an after-the-fact permit that was denied in plan review due to roof inconsistencies between the home and carport's exterior roof types. Section 16.20.010.11., of the property's NT district regulations require that "Detached accessory structures, such as garages and garage apartments, shall be consistent with the architectural style, materials, and color of the principal structure."

In an effort to "mitigate the impacts associated with accessory buildings", Section 16.50.020.4.1.5., provides relief from the NT district's design regulations subject to the following criteria for carports:

"A carport for a single family residential use is exempt from the requirement to utilize the architectural style and construction materials of the existing principal structure if it is: open on three sides, located within the rear one-third of the property, located behind the principal structure, meets the side yard setbacks for the principal structure (if on the street side it must be hidden by another structure from view from the street), not greater than 440 square feet in area, not greater than 12 feet in height at the beginning of the roofline, and not greater than 15 feet in height at the peak of the roof."

In response to permit disapproval, the applicants applied for an after-the fact design variance. The POD made the determination to deny approval of the design variance, due to roofing inconsistencies in the exterior architecture between the shingle roofed residence and the metal carport. This determination further concluded that carports that do not display consistent architectural compatibility with primary residences as intended by applicable NT district design regulations, must meet the codified design exemption criteria.

**POD's Decision:**

The POD (Zoning Official) reviewed the application and made a determination of inconsistency with the Land Development Regulations (LDR) Sections 16.20.010.11. and 16.50.020.4.1.5; therefore, denying the application. The applicant requests the approval of a design variance to accessory structure design requirements in the NT-1 zoning district. Section 16.20.010.11. – Building and Site Design states, "Detached accessory structures, such as garages and garage apartments, shall be consistent with the architectural style, materials, and color of the principal

structure.” Section 16.50.020.4.1.5, as referenced, codifies the design relief criteria for carports which do not match single-family homes.

Based on the code sections cited above, the property by right is allowed a setback compliant and design consistent carport. However, the detached metal carport, as built, could not be permitted base on inconsistent exterior materials and architectural design.

**Appeal:**

Mr. Keith Gambero and Ms. Cristina Gustilo appealed the POD’s decision to deny the design variance application. The appeal generally argues:

1. Public Hearing Notices had not been provided.
2. The structure can be modified in order to be retained.

**Staff Response:**

Staff finds that the application does not meet the criteria of code and provides analysis in support of this determination below. Following the review of the code criteria, staff provides a response to the issue identified in the appeal.

1. Notices of Public Hearing are prepared after the appeal was received on April 8, 2021. A post marked copy of the Certificate of Mailing has been returned to the department and is available upon request.
2. Although modifications may be made to the carport, modifications which do not change the roofing materials from metal to shingle would not substantially address the cause for an after-the-fact design variance .

**Staff Analysis of Criteria:**

The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC’s decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought, and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

- a. *Preservation district. If the site contains a designated preservation district.*

This criterion is not applicable. The subject property is not located in a designated preservation district.

- b. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The proposed project does not promote the established development pattern of the neighborhood. Metal carports are not prevalent accessory structures displayed throughout the neighborhood. The existing development pattern of single-family corner

lot properties either have uncovered parking or vehicular storage structures that are design consistent with the existing residence.

2. *The special conditions existing are not the result of the actions of the applicant;*

The development pattern and layout of the home lend the street side and rear yards visible from 50<sup>th</sup> Street North. These conditions are not the result of applicant action and were inherited conditions when the property was acquired.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

The literal enforcement of this Chapter would not result in unnecessary hardship. The hardship presented is self-imposed. On-site parking may still be provided without the carport by utilizing the existing garage or uncovered parking.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

The reasonable use of the structure would be affected, however consistent use of the land would remain unaffected. The property can continue to provide conforming on-site parking and reasonable accommodation of a conforming permitted carport.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The design variance requested would be the minimum variance that will make reasonable use of the unpermitted carport. The existing dwelling would remain unaffected without the granting of the requested design variance.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

Per Section 16.20.010.11., "The purpose of the NT district regulations is to protect the traditional single-family character of these neighborhoods, while permitting rehabilitation, improvement and redevelopment in a manner that is consistent with the scale of the neighborhood. The standards for each of the NT districts are intended to reflect and reinforce their unique character."

The intent of having accessory structure design requirements is to improve the appearance, character, and value of neighborhoods throughout the City. The application of these standards promotes and preserves the contextual attractiveness of traditional communities. These code requirements proportionately regulate mandated exterior design to protect established neighborhood character. As such, the granting of the request would not be in harmony with the general purpose and intent of the NT zoning district or accessory structure design exemption regulations.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*



Although the request does not directly impact public welfare. Approval of the request would indirectly encourage similar visually incompatible accessory storage structures in single-family districts. The approval of this request would deemphasize current architectural compatibility criteria and undermine existing design exemption standards for accessory structures. The standards reviewed by this report, as well as others, were adopted to establish and endorse architectural continuity between principal and accessory structures.

8. *The reasons set forth in the application justify the granting of a variance;*

Staff finds that the reasons set forth do not justify the granting of the requested design variance based on the analysis provided.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

No nonconforming uses, buildings, or structures have been utilized in this analysis.

**Public Comments:**

The subject property is within the boundaries of the Greater Grovemont Neighborhood Association. At the time of this writing, staff has received one public comment via telephone in support for this request. Four of the five signatures provided by the applicant in support of this application are from property owners in the neighborhood according to Pinellas County Property Appraisers Records. One of the signatures and addresses on the Neighborhood Worksheet provided by the application were illegible and could not be verified by the staff.

**Recommendation:**

**STAFF RECOMMENDATION:** Based on a review of the application according to the criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the appeal, upholding the PODs denial of the after-the-fact design variance.

**CONDITIONS OF APPROVAL:** If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The applicant shall secure an after the fact building permits for carport by **November 5, 2021.**
2. The plans submitted for permitting shall substantially resemble the plans attached to this report. Significant modifications to the plans shall require a new application and public hearing.

ATTACHMENTS: Attachment A – Location Map ; Attachment B - Site Photos , Attachment C – Design Variance Application; Attachment D – Survey / Site Plan; Attachment E – Code Enforcement Citation, Attachment F – Section 16.20.010., Attachment G – Section 16.50.020.4.1., Attachment H – Design Variance Denial Letter, Attachment I – Appeal Letter

**Report Prepared By:**

*Shervon Chambliss*

4/27/2021

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Shervon Chambliss, Planner I  
Development Review Services Division  
Planning & Development Services Department

Date

**Report Approved By:**

*Jennifer C. Bryla*

4/27/21

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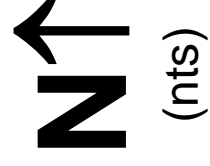
Jennifer Bryla, AICP, Zoning Official (POD)  
Development Review Services Division  
Planning & Development Services Department

Date

JCB/SAC:iw



Project Location Map  
City of St. Petersburg, Florida  
Planning and Development Services  
Department  
Case No.: 21-58000002  
Address: 4938 16<sup>th</sup> Street North











# Design Variance Request

Application No. 21-58000002

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1<sup>st</sup> floor of the Municipal Services Building, One 4<sup>th</sup> Street North.

## GENERAL INFORMATION

**NAME of APPLICANT (Property Owner):** Keith Gambaro & Cristina Gustilo

Street Address: 4938 16th St. N

City, State, Zip: St. Petersburg, FL 33703

Telephone No: 727-452-8682

Email Address: keithgambaro@yahoo.com

**NAME of AGENT or REPRESENTATIVE:**

Street Address:

City, State, Zip:

Telephone No:

Email Address:

**PROPERTY INFORMATION:**

Street Address or General Location: 4938 16th St N., St. Petersburg 33703

Parcel ID#(s): 01-31-16-33876-000-0200

**DESCRIPTION OF REQUEST:**

After the fact metal carport design variance.

**PRE-APPLICATION DATE:** 2/2/2021

**PLANNER:** Shervon Chambliss

## FEE SCHEDULE

Design Variance: \$200.00

Cash, credit, checks made payable to "City of St. Petersburg"

## AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

**NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.**

Signature of Owner / Agent\*:  

Date: 2/2/2021

\*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory: KEITH GAMBARO Cristina Gustilo



**CITY OF ST. PETERSBURG  
PLANNING & ECONOMIC DEVELOPMENT DEPT.  
DEVELOPMENT REVIEW SERVICES DIVISION**

**DEVELOPMENT REVIEW COMMISSION  
AFFIDAVIT TO AUTHORIZE AGENT**

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: Keith Gambaro and Cristina Gustilo

This property constitutes the property for which the following request is made

Property Address: 4938 16th St N. St Petersburg, 33703

Parcel ID No.: 01-31-16-33876-000-0200

Request: After The Fact Building Permit

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): \_\_\_\_\_

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I(we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): \_\_\_\_\_

Cristina Gustilo

KEITH GAMBARO

Printed Name

Cristina Gustilo

Sworn to and subscribed on this date 1/30/2021

Identification or personally known: FIOL

Notary Signature: \_\_\_\_\_

Commission Expiration (Stamp or date): \_\_\_\_\_

Date: 1/30/2021



Jennifer Stark  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# GG273031  
Expires 12/28/2022



# Design Variance Request

*NARRATIVE (PAGE 1)*

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the seven criteria.

**ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.**

APPLICANT NARRATIVE	
<b>Street Address:</b> 4938 16th St N	<b>Case No.:</b> 20-00020210
<b>Detailed Description of Project and Request:</b>	
Metal carport in back of house on a concrete pad with alley access. Willing to make changes to carport to meet the "corner house restrictions"	
<p>1. In what ways does the design variance reinforce a unique condition of an identifiable architectural style lending to the design intent of that style?</p> <p>See attachment for response</p>	
<p>2. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?</p> <p>See attachment for response</p>	
<p>3. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.</p> <p>See attachment for response</p>	

# Design Variance Request

**NARRATIVE** (PAGE 2)

## APPLICANT NARRATIVE CONTINUED

4. How is the requested variance not the result of actions of the applicant?

See attachment for response

5. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?

See attachment for response

6. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?

See attachment for response

7. In what ways will granting the requested variance enhance the character of the neighborhood?

See attachment for response



## Design Variance Request for 4938 16<sup>th</sup> St N, St. Petersburg FL, 33703

### Narrative Answers:

**Question 1-** Applicant is willing to change the color of the carport roof to match the house to fulfill the "Use of same construction of the principal structure," willing to lower the carport 2 feet, and willing to plant Italian Cypress trees alongside of carport to fulfill the "Hidden Behind a Structure" from view of corner side street.

**Question 2-** Alley access corner house with a carport located in the back of the house on a concrete pad. Carport meets all side yard and back yard setbacks. Carport blends in color wise with the house and is professionally built and installed with top quality materials.

**Question 3-** 4831 Queens St corner of 49<sup>th</sup> Ave. N has a homebuilt carport/canopy which is attached to house and hanging over sidewalk.

4800 48<sup>th</sup> Ave. N corner of 16<sup>th</sup> St N, has carport on side facing 48<sup>th</sup> Ave. N.

5136 16<sup>th</sup> St N is an alley access house with a metal carport attached to the back of the house with electrical outlets and lighting hung in it.

**Question 4-** Carport was installed on July 23<sup>rd</sup>, 2020 and 6 weeks later applicant had received a Violation Notice in the mail on August 23<sup>rd</sup>, 2020. Applicant had called the phone number on the violation letter and was told by 2 different city employees that "city employees must have just seen it."

**Question 5-** Carport is not homebuilt with cheap materials such as other properties within the neighborhood. It is a clean and professionally built carport installed with top quality materials. Color also blends in with the house.

**Question 6-** Planting of trees does not require a variance but building a structure to hide a structure is not practical due to the property layout and the design of the house.

**Question 7-** After speaking with surrounding neighbors, they had said it looks good and blends in with the house that they didn't realize it was there until applicant had asked for their signature for the "Neighborhood Worksheet."

# VARIANCE

## NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
<b>Street Address:</b> 4938 16 <sup>TH</sup> ST. N.	<b>Case No.:</b> 20-0002210
<b>Description of Request:</b>	
DESIGN VARIANCE FOR CARPORT	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address:	1619 49 <sup>TH</sup> AVE N
Owner Name (print):	Kelly Bachman
Owner Signature:	Kelly Bachman
2. Affected Property Address:	1618 50 <sup>TH</sup> AVE N
Owner Name (print):	Amanda Wilcox
Owner Signature:	Amanda Wilcox
3. Affected Property Address:	4900 16 <sup>TH</sup> ST N
Owner Name (print):	Fannie Dyer
Owner Signature:	Fannie Dyer
4. Affected Property Address:	1654 50 <sup>TH</sup> AVE N
Owner Name (print):	WALTER R. LAMBERT
Owner Signature:	Walter R. Lambert
5. Affected Property Address:	1601 50 <sup>TH</sup> AVE N
Owner Name (print):	Lyle Coward
Owner Signature:	Lyle Coward
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	

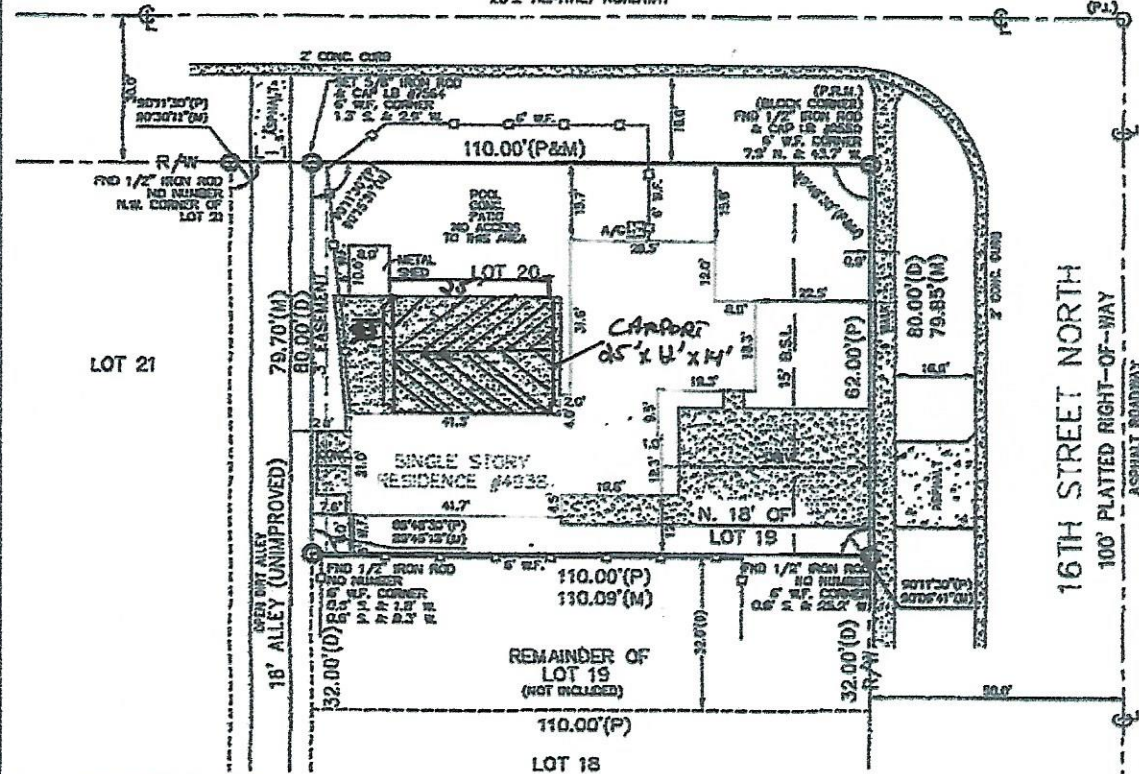




50TH AVENUE NORTH

60' PLATTED RIGHT-OF-WAY

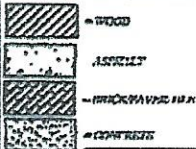
20'± ASPHALT ROADWAY



**SURVEYOR'S NOTE:**

IMPROVEMENTS IN THE REAR OF THE PROPERTY WERE LOCATED AS BEST AS THEY COULD BE AS THERE WAS NO ACCESS TO THAT ARE.

P.I.D. # = PARCEL IDENTIFICATION NUMBER



PROPERTY ADDRESS: 4938 16TH STREET NORTH - ST. PETERSBURG, FLORIDA 33703

[illegible]

LIST OF ENCROACHMENTS  
CONC PAD ENCROACHES INTO THE  
REAR EASEMENT.

GRAPHIC SCALE: 1" = 30'



**SURVEYOR'S NOTES**

THE PHOTOGRAPH WAS PHOTOGRAPHED WITHIN THE SCOPE OF A COMBINED  
1974-1975 POLICE PLAN. (EKA) ONE BATHING PHOTOGRAPH BY HENRIK  
AND FREDERICK, AND OTHER PHOTOGRAPHS OF THE SCENE, APPEARING IN A PHOTO  
ALBUM, WERE TAKEN AT A SCENE WHICH WERE NOT USED BY THE SCENE  
INVESTIGATOR AND SCENE PHOTOGRAPHER BASED ON PLANNED ANGLES.

**LEGAL DESCRIPTION: LOT 20 AND THE NORTH 18 FEET OF LOT 19, GROVEMONT SUBDIVISION NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED AT PLAT BOOK 17, PAGE 39, IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA**

**CERTIFIED TO:  
OLAYINKA ARENT  
(EXCLUSIVELY)**

CLIENT NO: N7A  
JOB NO: 37105  
FIELD DATE: 11/01/19  
APPROVED BY: AS  
CHECKED BY: TSS  
DRAWN BY: GS  
DRAWN DATE: 12/01/19

I hereby certify that the survey of the herein described property was prepared under my direct supervision and meets the Standards of Accuracy set forth by the Florida Board of Professional Surveyors and Mapping in Chapter SS-17.050 through SS-17.053, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

**FLOOD ZONE**  
(FOR INFORMATIONAL PURPOSES ONLY)  
SUBJECT PROPERTY SHOWN HEREON APPEARS  
TO BE LOCATED IN ZONE A AREA OUTSIDE  
THE 100 YEAR FLOOD PLAIN PER FIRM  
MAP NUMBER 12000000, DATED 08/08/00  
THIS SURVEY MAKES NO GUARANTEES AS  
THE ACCURACY OF THE ABOVE INFORMATION

57A TLE  
57C TLE  
11/07/2010  
LAWRENCE H. ANDERSON, JR., 5645  
FIRST CHOICE SURVEILLING, INC.  
P.O. BOX 470779, LAKE MONROE, LA 70747  
407 951 3425 (Office); 407 528 5453 (Fax); 117 47564  
LAWRENCE H. ANDERSON, JR., 5645

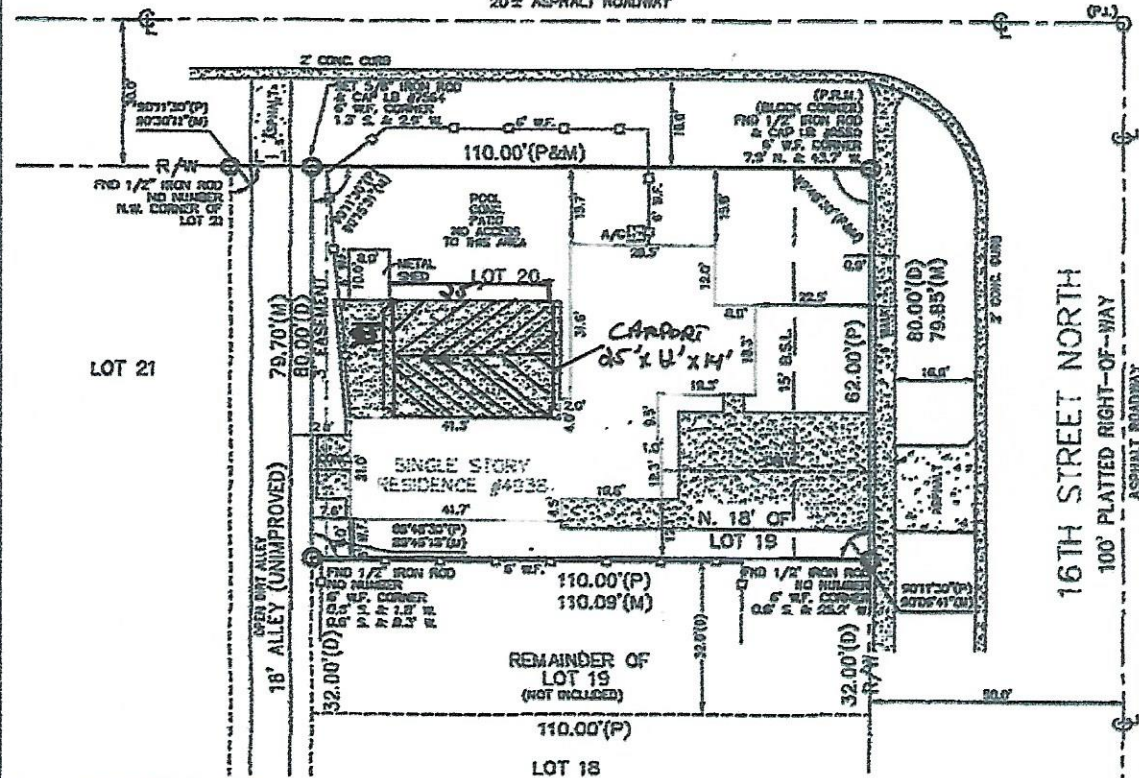




50TH AVENUE NORTH

60' PLATTED RIGHT-OF-WAY

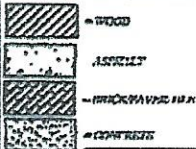
20'± ASPHALT ROADWAY



**SURVEYOR'S NOTE:**

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P.I.D. # = PARCEL IDENTIFICATION NUMBER



**PROPERTY ADDRESS: 4938 16TH STREET NORTH - ST. PETERSBURG, FLORIDA 33703**

[illegible]

LIST OF ENCROACHMENTS  
CONC PAD ENCROACHES INTO THE  
REAR EASEMENT.

GRAPHIC SCALE: 1" = 30'



**SURVEYOR'S NOTES**

THE FOLLOWING INFORMATION IS BASED ON THE RESULTS OF A COMBINED  
X-RAY AND FLUORESCENT (XRF) ANALYSIS PERFORMED BY HENRY  
ANALYTICAL, LANSING, MICHIGAN. THE ABOVE INFORMATION IS PRESENTED  
AS AN INFORMATIONAL GUIDE ONLY. IT DOES NOT GUARANTEE THE  
ACCURACY OF THE ANALYSIS. THE ANALYSIS WAS NOT PERFORMED BY THE  
FEDERAL BUREAU OF INVESTIGATION (FBI) LABORATORY.  
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**CERTIFIED TO:  
OLAYINKA AREMU  
(EXCLUSIVELY)**

CLIENT NO: N7A  
JOB NO: 37103  
FIELD DATE: 11/01/19  
APPROVED BY: AS  
CHECKED BY: TSS  
DRAWN BY: GS  
DRAWN DATE: 12/01/19

I hereby certify that the survey of the herein described property was prepared under my direct supervision and meets the Standards of Accuracy set forth by the Florida Board of Professional Surveyors and Engineers in Chapters 53-17.050 through 53-17.053, Florida Administrative Code, pursuant to Chapter 402.027, Florida Statutes.

**FLOOD ZONE**  
(FOR INFORMATIONAL PURPOSES ONLY)  
SUBJECT PROPERTY SHOWN HEREON APPEARS  
TO BE LOCATED IN ZONAL AREA OUTSIDE  
THE 100 YEAR FLOOD PLAIN PER FIRM  
MAP NUMBER 12000000, DATED 08/08/00  
THIS SURVEY MAKES NO GUARANTEES AS  
TO THE ACCURACY OF THE ABOVE INFORMATION

574746  
TX 0314  
11/07/2010  
LAWRENCE M. LAMAR, JR. - 10/26/2010  
FIRST CHOICE SADDLERY, INC.  
P.O. BOX 470797, LAKE MONROE, FL 32747  
407 951 3425 (Office); 407 520 5653 (Fax); 407 561 6664  
WINTER PARK, FL 32789 (LAWRENCE M. LAMAR, JR.)

View 2





PROGRAM CE200L  
City of St. Petersburg, Florida

CASE TYPE	DISPOSITION	DATE ESTABLISHED	STATUS	TENANT NAME	TENANT NBR	STATUS DATE
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Parcel Identification Nbr  
ADDRESS

PERMIT(S) 01/31/16/33876/000/0200/ 4938 16TH ST N SAINT PETERSBURG FL 337033532	Public	8/27/20	ACTIVE			8/27/20
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INSPECTOR  
SUSAN LENO 892-5176

Mail tracking #:  
Name/address:  
4938 16TH ST N  
SAINT PETERSBURG, FL 33703-3532

Telephone:  
Fax:  
Email:

REINSPECTION  
RSLT TEXT: 9/29/20 Permits applied for and in process. Will continue to monitor progress.

10/26/20 REINSPECTION  
RSLT TEXT: October 29, 2020 1:43:43 PM tlmmyrick. Private  
Permit is pending. Will continue to monitor

11/26/20 REINSPECTION  
RSLT TEXT: December 1, 2020 3:18:24 PM tlmmyrick. Private  
Permit in process for a detached carport. Will continue to monitor.

12/30/20 REINSPECTION  
RSLT TEXT: January 11, 2021 8:09:14 AM brgreen. Private  
Permit 20-09001678 was applied for on 09/23/2020 and still showing in process.

1/11/21 RECORD CHECK  
NARRATIVE: January 11, 2021 8:10:45 AM brgreen. Private  
01-31-16-33876-000-0200  
Compact Property Record Card  
Tax Estimator  
Updated January 9, 2021  
Email Print Radius Search  
FEMA/WLM  
Ownership/Mailing Address Change Mailing Address Site  
Address  
GUSTILO, CRISTINA  
GAMBARO, KEITH  
GUSTILO, LOUIS  
GUSTILO, PERLA  
4938 16TH ST N  
ST PETERSBURG FL 33703-3532  
4938 16TH ST N  
ST PETERSBURG

2/03/21 CEB NOTICE OF HEARING  
Respond to: ISSUED 2/03/21 Private  
Date: 3/24/21

PROGRAM CE200L  
City of St. Petersburg, Florida

CASE TYPE	DISPOSITION	DATE ESTABLISHED	STATUS	TENANT NAME	TENANT NBR	STATUS DATE
Parcel Identification Nbr ADDRESS	INSPECTOR	8/27/20	ACTIVE			8/27/20
PERMIT(S) 01/31/16/33876/000/0200/ 4938 16TH ST N SAINT PETERSBURG FL 337033532	Public SUSAN LENO 892-5176					
Send to: OWNER Mail tracking #: GUSTILO, CRISTINA Name/address: 4938 16TH ST N SAINT PETERSBURG, FL 33703-3532						
Telephone: Fax: Email: 2/03/21	CEB EVIDENTIARY FACT SHEET	ISSUED Date: 3/24/21	Private			
Respond to: OWNER Mail tracking #: GUSTILO, CRISTINA Name/address: 4938 16TH ST N SAINT PETERSBURG, FL 33703-3532						
Telephone: Fax: Email: 2/03/21	CEB MINUTES FORM	ISSUED Date: 3/24/21	Private			
Respond to: OWNER Mail tracking #: GUSTILO, CRISTINA Name/address: 4938 16TH ST N SAINT PETERSBURG, FL 33703-3532						
Telephone: Fax: Email: 2/18/21	TELEPHONE CONVERSATION NARRATIVE: February 18, 2021 3:32:14 PM a4brown. Spoke with Keith Gustilo/452-8682, who has applied with the City for an after fact design variance. Asked him to keep us inform. Will remove from Code Enforcement Board Hearing while in process.	COMPLETED 2/18/21	Private			2/18/21 2/18/21 2/18/21 2/18/21 2/18/21
2/18/21	CASE REMOVED FROM CEB/SM NARRATIVE: February 18, 2021 3:35:32 PM a4brown. Case removed from Code Enforcement Board hearing to City Process for design variance.	COMPLETED 2/18/21	Private			2/18/21 2/18/21 2/18/21
2/16/21	RETURN RECEIPT REC'D / CEB NOH COMPLETED 2/16/21 NARRATIVE: RETURN RECEIPT RECEIVED FOR THE CODE ENFORCEMENT BOARD NOTICE OF HEARING ADDRESSED TO: Cristina Gustilo SIGNED BY: Covid19 DATED: 2/11/2021 MARCH AGENDA ITEM #116	COMPLETED 2/16/21	Private			2/19/21 2/19/21 2/19/21 2/19/21 2/19/21



PROGRAM CE200L  
City of St. Petersburg, FloridaCASE TYPE  
Parcel Identification Nbr  
ADDRESS

DISPOSITION DATE ESTABLISHED STATUS TENANT NAME TENANT NBR STATUS DATE

INSPECTOR 8/27/20 ACTIVE

PERMIT(S)  
01/31/16/33876/000/0200/  
4938 16TH ST N  
SAINT PETERSBURGFL 3370333532  
2/16/21 RETURN RECEIPT REC'D / CEB NOH COMPLETED 2/16/21 Private

NARRATIVE: February 19, 2021 3:44:07 PM ltgreene.

3/18/21 REINSPECTION March 8, 2021 3:33:09 PM sgleno. 3/08/21 Private SUSAN LENO 892-5176

RSLT TEXT: Violations existing at time of inspection

3/08/21 POSTING March 8, 2021 3:33:43 PM sgleno. 3/08/21 Private

NARRATIVE: Posted B1 at violation address

3/11/21 ELECTRONIC MAIL March 12, 2021 11:21:19 AM sgleno. 3/12/21 Private

NARRATIVE: Exchanged emails with supervisor regarding zoning variance and if this should be removed from hearing. Verified that Variance is in process and I should B1

3/12/21 REINSPECTION March 12, 2021 11:22:42 AM sgleno. 3/12/21 Private SUSAN LENO 892-5176

RSLT TEXT: Verified violation existing and variance is in process with Zoning Department.

3/12/21 TELEPHONE CONVERSATION March 12, 2021 11:23:16 AM sgleno. 3/12/21 Private

NARRATIVE: Called Keith Gambaro (452-8682) to verify case has been removed from hearing.

3/12/21 CASE REMOVED FROM CEB/SM March 12, 2021 11:26:57 AM sgleno. 3/12/21 Private

NARRATIVE: Removed to Zoning variance application

4/29/21 REINSPECTION SCHEDULED 3/12/21 Private SUSAN LENO 892-5176

RQST TEXT: Check on variance

VIOLATIONS: DATE 8/27/20 DESCRIPTION PERMITS QTY CODE STATUS ACTIVE RESOLVED

LOCATION:  
Chapter 8, Sec. 8-169 (a) All buildings or structures shall be maintained in sound condition, good working order, and in a safe and sanitary manner. All devices or safeguards which are required by this article in a building when erected, altered or repaired shall be maintained in good working order. The owner shall be responsible for the maintenance of buildings, structures and premises to the extend set out in

TOTAL TIME:

CASE TYPE	DISPOSITION	DATE ESTABLISHED	STATUS	STATUS DATE
Parcel Identification Nbr	INSPECTOR	TENANT NAME	TENANT NBR	
ADDRESS	Public	8/27/20	ACTIVE	8/27/20
PERMIT(S)				
01/31/16/33876/000/0200/	SUSAN LENO 892-5176			
4938 16TH ST N				
SAINT PETERSBURG FL 337033532				

VIOLATIONS:	DATE	DESCRIPTION	QTY	CODE	STATUS	ACTIVE	RESOLVED
	8/27/20	PERMITS	1	352			

LOCATION:  
this division. The occupant shall be responsible for the maintenance of buildings, structures and premises to the extend set out in this division.

(1) It shall be unlawful for any person to construct, add to, alter, repair, move, or demolish any building, structure, or any part thereof, or to cause any work to be done without first obtaining a permit from the POD as required by law or ordinance.

(2) It shall be unlawful for any person who has obtained a permit to construct, add to, alter, repair, move, or demolish any building, structure or any part thereof, and who has commenced such work, to fail to prosecute the work to completion, pass the final inspection, and obtain a certificate of occupancy for such work as required by law or ordinance. Work commenced under a permit which expires before the work is completed shall be deemed to be work done without a permit.

(3) It shall be unlawful for any owner to allow any construction, alteration, addition to, or repair of any structure to remain on any property owned by such owner or, if the structure has been moved, to allow the structure to remain on any property owned by such owner, if the construction, alteration, addition, repair or movement of the structure was performed without having first obtained the proper permit for such work or, if a permit for such work was obtained, the permit expired prior to completion and final inspection of the work and the permit has not been reissued, as required by law or ordinance.

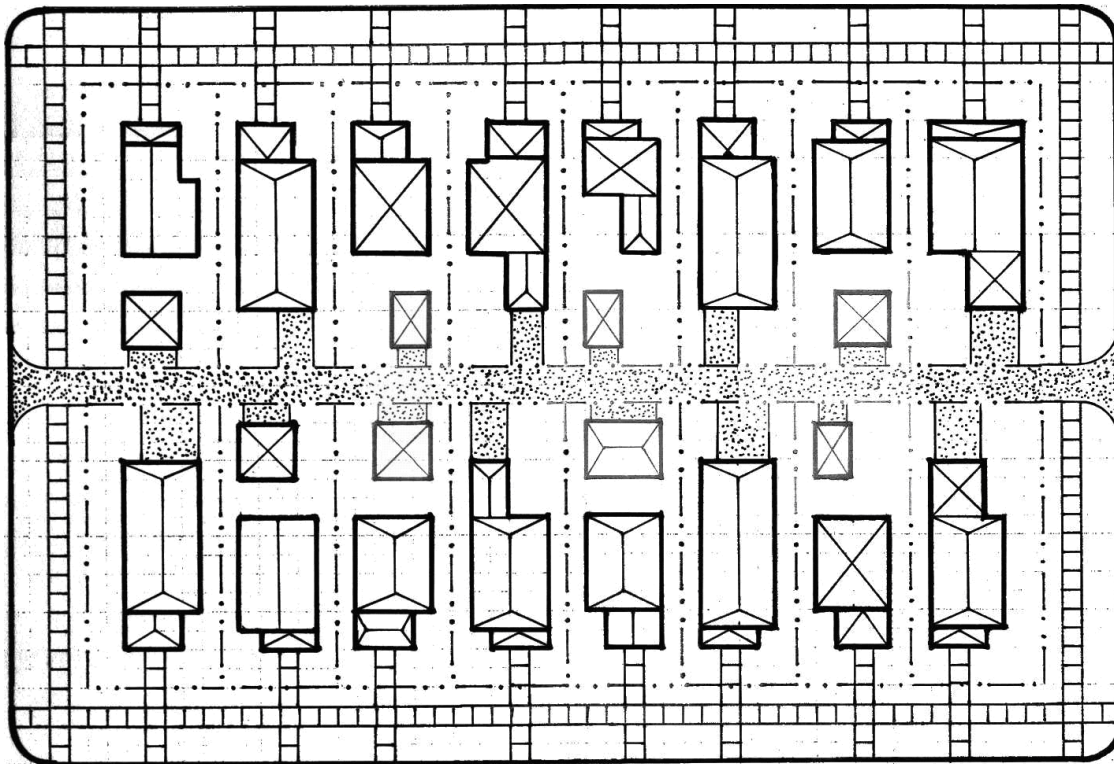
NARRATIVE: Metal carport/canopy erected at the rear of the structure without permits. Contact the permits department for further direction, 727-893-7231

1/11/21  
1/11/21  
1/11/21

## SECTION 16.20.010. - NEIGHBORHOOD TRADITIONAL SINGLE-FAMILY DISTRICTS ("NT")



Typical Houses in a Neighborhood Traditional District



Typical Block in a Neighborhood Traditional District

Common features of these districts include:

- Narrow rectangular lots facing the avenue.
- Houses built toward the front of the lot with reduced setbacks.
- Front porches and primary entrances facing the avenue.
- Sidewalk connections leading to the public sidewalk and the street.
- Vehicular access from the rear alley instead of driveways in front yards.
- Recognized architectural styles with consistent and appropriate materials.

### 16.20.010.1. - History and composition of traditional neighborhoods.

Generally, the traditional neighborhoods of the City were platted between the incorporation of the City and the mid-1920's, before multi-car households became common and when most people walked or rode public transportation. As such, these neighborhoods feature streets and buildings oriented to the needs of pedestrians rather than to the needs of cars.

Lots in traditional neighborhoods are narrow compared to lots in suburban neighborhoods. Traditional lot widths typically range between 45 and 60 feet. Widths in excess of 60 feet exist in certain areas, but are relatively rare. Sidewalks are provided along all sides of blocks and on both sides of the street.

The homes in traditional neighborhoods were typically constructed prior to 1950 and exhibit architecture of the early 20th Century. Buildings typically feature vertically-oriented architecture and were constructed close to the street. Front doors face the street and are enhanced with architecturally appropriate features. Front porches or stoops are common and add emphasis and visual interest to the primary entrance. Side and rear yard setbacks are minimal. Building heights typically do not exceed 24 feet. Buildings include a variety of roof designs such as gable, hip, and gambrel. The upper portions of taller buildings typically taper or step back from the property lines.

Alleyways are the primary means of providing areas for utilities and access to off-street parking to the rear of the properties. Driveways and garages in front yards are not typical in most traditional neighborhoods.

While traditional neighborhoods are primarily characterized by single-family residential structures, house sizes and types are varied. Small apartment buildings and ancillary dwelling units, such as garage apartments, are sprinkled throughout many of these areas. The diverse housing opportunities allow for persons in different stages of life and at different income levels to enjoy the same neighborhood. Residents can remain in the same neighborhood throughout their lives, even though an individual's housing needs and preferences may change (lifecycle housing). There are also several remaining corner stores located within the heart of some traditional neighborhoods. Historically, these small stores provided basic goods and services to residents within walking distance.

(Code 1992, § 16.20.010.1; Ord. No. 876-G, § 2, 2-21-2008)

### 16.20.010.2. - Purpose and intent.

The purpose of the NT district regulations is to protect the traditional single-family character of these neighborhoods, while permitting rehabilitation, improvement and redevelopment in a manner that is consistent with the scale of the neighborhood. The standards for each of the NT districts are intended to reflect and reinforce their unique character. Street standards are intended to preserve the alley system as a mechanism to provide limited access for parking and utility functions in the rear of the site.

(Code 1992, § 16.20.010.2; Ord. No. 876-G, § 2, 2-21-2008)

### 16.20.010.3. - Permitted uses.

Uses in these districts shall be allowed as provided in the Matrix: Use Permissions and Parking Requirements.

#### 16.20.010.3.1. Preservation of single-family character.

NT districts are primarily single-family in character. While some NT districts allow accessory units or limited neighborhood-scale mixed uses, the character and context along the street should reinforce the pattern of a traditional single-family neighborhood. Generally, duplex and multifamily buildings are prohibited. Some multifamily uses are existing and grandfathered.

#### 16.20.010.3.2. Grandfathered units. (See use matrix.)

Multifamily units were built in many traditional neighborhoods to accommodate the winter tourist industry in the first half of the 20th Century. These units provide a diversity of housing stock which enriches the neighborhood and provides lifecycle housing. Renovation and revitalization of these units can create a highly desirable amenity within the neighborhood and is an ideal way of providing workforce-housing units. Restoration of these resources is desirable over replacement. Special approval may be required to redevelop these uses as established by the process in the application and procedures section. Replacement construction should be consistent with the development pattern and architectural context of the neighborhood.

(Code 1992, § 16.20.010.3; Ord. No. 876-G, § 2, 2-21-2008)

#### 16.20.010.4. - Introduction to NT districts.

The NT districts are the NT-1, NT-2, NT-3 and NT-4 districts. The standards for the NT districts are intended to allow for redevelopment of the traditional neighborhoods with modern amenities, while respecting the existing development pattern and unique character of these areas.

(Code 1992, § 16.20.010.4; Ord. No. 876-G, § 2, 2-21-2008)

#### 16.20.010.4.1. Neighborhood Traditional Single-Family-1 (NT-1).

In the NT-1 district, single-family homes are the primary intended use. Accessory dwelling units, such as garage apartments, are allowed, subject to compliance with standards regulating minimum lot size, building setbacks, parking and other applicable requirements. The design guidelines are intended to ensure compatibility with the existing character and pattern of these neighborhoods by requiring compatible building design and limiting the locations of driveways to certain areas of the property.



Typical Single-Family Homes within the NT-1 District

#### 16.20.010.4.2. Neighborhood Traditional Single-Family-2 (NT-2).

The NT-2 district generally includes neighborhoods already developed by the end of the 1920s. These areas typically exhibit a higher degree of architectural legacy and have a well-developed network of alleys.

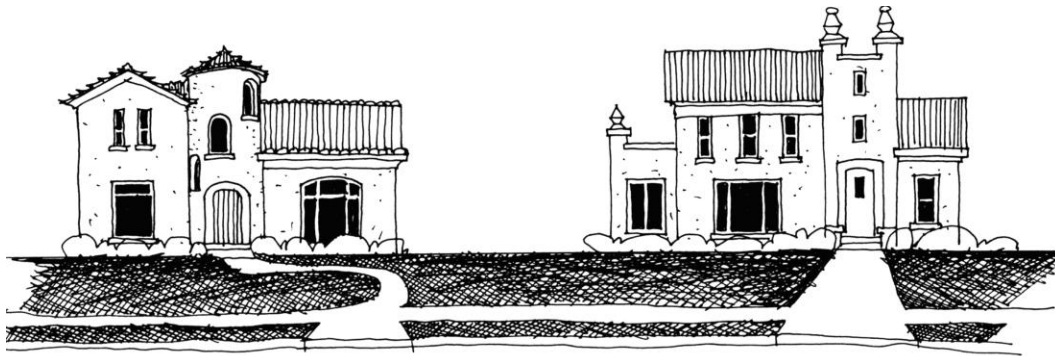
Allowable uses and standards are similar to the NT-1 district. Site layout and architectural detailing is emphasized to preserve and reinforce the existing development pattern. Driveways, garages, and utility uses are limited to the rear of the property.



#### Typical Single-Family Homes within the NT-2 District

##### 16.20.010.4.3. Neighborhood Traditional Single-Family-3 (NT-3).

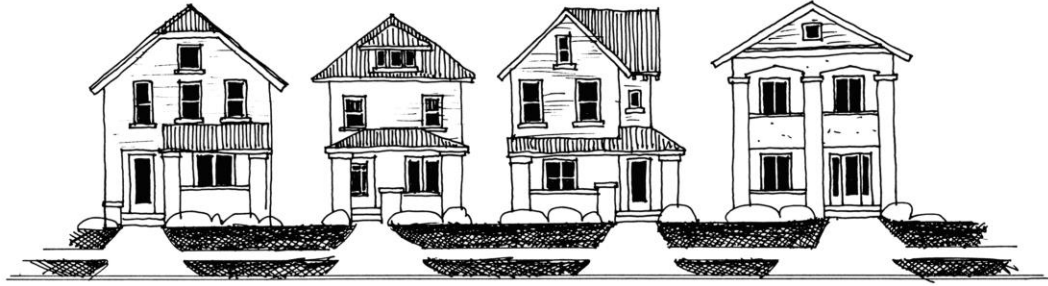
The NT-3 district reflects the character of several traditions. Lot widths are larger, ranging between 60 and 65 feet. These areas are typically adjacent to large public parks utilized for numerous City-wide events generating large crowds, high volumes of traffic and other disruptions not typical for most neighborhoods. The architectural legacy and alley network are similar to NT-2 areas. The development pattern typically features greater front and side yard building setbacks than the NT-2 district. The NT-3 district generally allows the same uses as NT-1 and NT-2, with the exception that accessory dwelling units, such as garage apartments, are not permitted.



#### Typical Single-Family Homes within the NT-3 District

##### 16.20.010.4.4. Neighborhood Traditional Mixed Use (NT-4).

The NT-4 district recognizes the small pockets of traditional mixed-use development in certain areas. Historically, these were neighborhood-scale corner stores and restaurants on the first floor with apartments above. These uses typically exist at the intersections of busier residential streets or around public parks. Storefronts are close to the street with loading and parking areas to the rear. The design of the buildings is compatible with the scale and architecture of the surrounding neighborhood and signage is minimal.



Typical Row of Mixed Uses within the NT-4 District

(Code 1992, § 16.20.010.4; Ord. No. 876-G, § 2, 2-21-2008)

**16.20.010.5. - Maximum development potential.**

Development potential is different within each district in order to respect the character of the neighborhoods. Achieving maximum development potential will depend upon market forces, such as minimum desirable unit size, and development standards, such as minimum lot size, parking requirements, height restrictions, floor area ratios, maximum building and impervious surface ratios, and building setbacks.

To maintain community character and provide for desirable redevelopment and infill housing, homes shall be built using FARs as set forth herein. Various design standards may be used to increase the FAR and maintain the compatibility of new and modified homes with the existing neighborhood character. Therefore a maximum FAR is established and FAR bonuses may be permitted if the home incorporates design elements as set forth herein which are intended to be beneficial to the character of the neighborhood and reduce the appearance of mass and bulk from the public view.

Minimum Lot Size, Maximum Density and Maximum Intensity

		<b>NT-1</b>	<b>NT-2</b>	<b>NT-3</b>	<b>NT-4</b>
Minimum Lot Width	Residential	45 ft.	50 ft.	60 ft.	45 ft.
	Nonresidential	180 ft.	200 ft.	240 ft.	180 ft.
Minimum Lot Area (square feet)	Residential	4,500	5,800	7,620	5,800
	Nonresidential	22,860	25,400	30,480	22,860
Maximum Residential Density (units per acre)		15 (1 principal unit and 1 accessory unit per lot) <sup>(1)</sup>	15 (1 principal unit and 1 accessory unit per lot) <sup>(1)</sup>	7 (1 principal unit; accessory unit not permitted)	15 (1 principal unit and 1 accessory unit per lot) <sup>(1)</sup>
Maximum Residential Intensity (floor area ratio) <sup>(2) (3)</sup>		0.50	0.40	0.40	0.50
Maximum Nonresidential Intensity (floor area ratio)		0.50	0.50	0.40	0.85

Maximum Residential Building Coverage (includes all enclosed structures) except where the primary structure is one story then a 0.60 building coverage is allowed		0.55	0.55	0.55	0.55
Maximum Impervious Surface (site area ratio)	Residential	0.65	0.65	0.65	0.65
	Nonresidential	0.55	0.55	0.55	0.55

- (1) Refer to use specific development standards for regulations regarding development of accessory dwelling and accessory living space.
- (2) Residential Floor Area Ratio Exemption. The FAR includes any enclosed space above the required design flood elevation line, including enclosed garage space, but excludes that portion of the enclosed space that is below the required design flood elevation and up to 500 sf of the floor area of any detached accessory dwelling unit.
- (3) Residential Floor Area Ratio Bonus. An FAR bonus of up to 0.20 shall be granted when structures incorporate design elements set forth herein. The following options may be utilized in any combination, however, the maximum FAR bonus is 0.20.
- One story covered front porch with a separate roof structure with a minimum width of 60% of the front façade: 0.08 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.
  - Additional second story front setbacks: .01 bonus for every 1 foot of additional front setback of the entire facade, and .005 bonus for every 1 foot of additional front setback of at least one third of the facade but which is less than the entire facade, no bonus is allowed unless the setback is at least six feet, maximum 0.10 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.
  - Additional second story side setbacks: .01 bonus for every 1 foot of additional side setback of the entire façade, maximum 0.05 bonus per side.
  - Total residential floor area of the second story does not exceed 75% of the first story (excludes garage sf): 0.05 bonus.
  - Reduction of the height of both the peak and roofline of a two story building from the maximum allowed height: 0.02 bonus per foot, maximum 0.06.
  - The entire peak of the primary roof structure of the front façade is parallel to the front property line: bonus 0.02, or if the entire peak of the primary roof structure of the front façade is parallel to the front property line and the roof has dormer(s) which are equal to at least 20% of the width of the front façade: 0.04 bonus.
  - Side façade articulation: side facades which feature offsets of at least two feet in depth that are at least twelve feet in length that divide the building design and are in the front two thirds of the side facade: 0.02 bonus per side, maximum 0.04.
  - Front facade articulation: front facades (excluding the porch) which feature offsets of at least six feet in depth for a minimum of one third of the front façade, 0.06 bonus for each additional foot, maximum 0.10.



- i. All windows have true or simulated divided light muntins on interior and exterior surfaces: 0.03 bonus.
- j. One story - principal structure: 0.15 bonus.
- k. One story - all structures: 0.20 bonus.
- l. Style, materials and detailing consistent with an Architectural Style in St. Petersburg's Design Guidelines for Historic Properties: 0.10 bonus.
- m. Planting of larger shade trees between the front façade and the curb - 4" min caliper measured 6" above grade, Spread 8" - 10", Height 14-ft to 16-ft, 100 gallon container grown: 0.01 bonus per tree, maximum 0.02 bonus.
- n. LEED or Florida Green Building Coalition Certification: 0.05 bonus.
- o. Solar Ready: 0.02 bonus.

Refer to technical standards regarding measurement of lot dimensions, calculation of maximum residential density, nonresidential floor area and impervious surface. For mixed use developments, refer to additional regulations within the use specific development standards section for mixed uses (currently section 16.50.200).

(Code 1992, § 16.20.010.5; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 166-H, § 3, 5-21-2015; Ord. No. 203-H, § 9, 11-23-2015; Ord. No. 287-H, § 1, 7-20-2017)

## 16.20.010.6. - Building envelope: Maximum height and minimum setbacks.

Building Height	Beginning of Roofline	Top of Roof Peak
Primary building	24 ft.	36 ft.
Accessory building	20 ft.	30 ft.
Refer to technical standards regarding measurement of building height and height encroachments.		



## Minimum Building Setbacks

Building Setbacks		NT-1 and 2			NT-3		NT-4	
		If building height is up to 18 ft.	If building height is +18 ft. to 24 ft.	If building height is over 24 ft.	If building height is up to 24 ft.	If building height is over 24 ft.	If building height is up to 24 ft.	If building height is over 24 ft.
Front yard	Stoop	15 ft. or M	15 ft. or M	35 ft.	20 ft. or M	40 ft.	9 ft. or M	28 ft.
	Open Porch <sup>(1)</sup>	18 ft. or M	18 ft. or M	35 ft.	23 ft. or M	40 ft.	12 ft. or M	28 ft.
	Building	25 ft. or M	25 ft. or M	35 ft.	30 ft. or M	40 ft.	18 ft. or M	28 ft.
Interior side yard	For lots greater than 60 ft. in width	6 ft. or M	6 ft. or M	12 ft.	7.5 ft. or M	16 ft.	5 ft. or M	10 ft.
	For lots equal to or less than 60 ft.	10 percent of lot width <sup>(2)</sup>	6 ft. or M	12 ft.	7.5 ft. or M	16 ft.	5 ft. or M	10 ft.
Street side yard		12 ft. or M	12 ft. or M	16 ft.	15 ft. or M	22 ft.	8 ft. or M	15 ft.
Rear yard, with alley	For alleys equal to or greater than 16 ft. in width	6 ft. or M	6 ft. or M	20 ft.	6 ft. or M	20 ft.	5 ft. or M	20 ft.
	For alleys less than 16 ft. in width	10 ft., or 22 feet including the width of the alley, whichever is less, or M	10 ft., or 22 feet including the width of the alley, whichever is less, or M	20 ft.	10 ft., or 22 feet including the width of the alley, whichever is less, or M	20 ft.	8 ft., or 22 feet including the width of the alley, whichever is less, or M	20 ft.
Rear yard, no alley		10 ft. or M	10 ft. or M	30 ft.	10 ft. or M	30 ft.	10 ft. or M	30 ft.
Waterfront yard		20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft. ft.	20 ft.

**Notes:**

(1) Open porches are limited to a one story covered porch with or without a second story uncovered porch; two story covered porches shall meet the principal structure setback.

(2) For properties that are 50 feet or less in width, the minimum side yard building setback shall be 5 feet.

M (minor encroachment): Minor encroachments into normally prescribed setbacks may be allowed in order to accommodate an addition to align with the side of the existing structure, provided:

- (a) The total floor area of the encroaching portion of an addition shall not exceed 50 square feet;
- (b) No portion of the encroachment shall exceed 24 feet in height;
- (c) In no case shall any encroaching structure be closer to a property line than four feet.

Refer to the Dimensional Regulations and Lot Characteristics and Height, Maximum Allowable and Encroachments Sections (currently 16.60.010 and 020) for yard types and setback encroachments.

Enclosing porches in the front yard setback is regulated by the general development standards.

The larger of the minimum building separation distances required by the Florida Building Code or the fire prevention code or the minimum building setback established for the interior side yard setback shall apply; Building setbacks are based on the overall height of the various sections of a proposed building. As the building height increases, so does the minimum required setback.



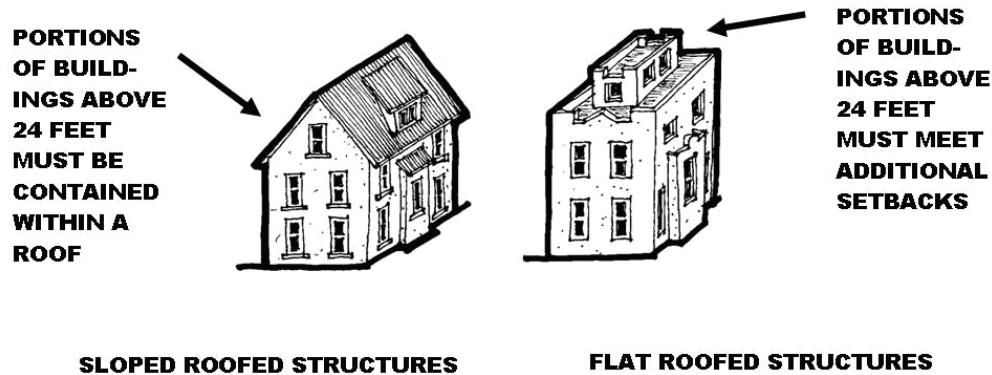
Minimum Building Setbacks for SE Uses

Building Setbacks SE Uses	NT-1 and 2	NT-3	NT-4
All yards (including waterfront)	35 ft.	35 ft.	35 ft.
Refer to technical standards for yard types.			

(Code 1992, § 16.20.010.6; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 893-G, § 2, 9-4-2008; Ord. No. 287-H, § 2, 7-20-2017)

**16.20.010.7. - Roof lines and slopes.**

Required building setbacks increase above 24 feet in height except for towers, turrets, and dormers as provided herein. At 24 feet or below, a cornice line shall be provided and the roofline shall begin. The roof slope shall not exceed 45 degrees (12:12 pitch). The roof peak shall not exceed the maximum height of 36 feet. If a sloped roof is not characteristic of the design style, the wall shall be accentuated with a cornice line at or below 24 feet in height.



(Code 1992, § 16.20.010.7; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 287-H, § 2, 7-20-2017)

**16.20.010.8. - Towers and turrets.**

Many architectural styles feature towers and turrets. A tower or a turret may exceed the roof slope, provided no horizontal wall dimension exceeds 16 feet and for a tower or turret with a non-straight (or rounded) wall, this dimension shall be calculated using the smallest rectangle which will enclose the wall.



(Code 1992, § 16.20.010.8; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 985-G, § 19, 7-15-2010)

**16.20.010.9. - Dormers.**

Many architectural styles feature dormers. A dormer may exceed the roof slope above 24 feet, provided the width of the dormer wall or the total width of the dormer walls, if more than one dormer, shall not exceed 50 percent of the roof width, or 16 feet of width, whichever is less. Dormers shall be compatible with the chosen architectural style



(Code 1992, § 16.20.010.9; Ord. No. 876-G, § 2, 2-21-2008)

#### 16.20.010.10. - Setbacks and FAR consistent with established neighborhood patterns.

There are building setback and FAR characteristics of existing neighborhoods related to front yard setbacks, FAR, and alignment of buildings along the block face. Minimum yard setback and FAR characteristics of neighborhoods may differ from the requirements of this district. The POD may approve, without a variance, residential development that meets these setback and FAR characteristics. Approval shall be based on the following:

1. Front yard setbacks will be based on predominant building setbacks established in the block in which the development is proposed.
2. FAR will be based on predominant building FAR established in the block in which the development is proposed based on the Property Appraisers Records.
3. Predominant shall mean equal to or greater than 50%.
4. These are administrative approvals appealable only by the property owner.

(Code 1992, § 16.20.010.10; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 287-H, § 2, 7-20-2017)

#### 16.20.010.11. – Building and site design.

The following design criteria allow the property owner and design professional to choose their preferred architectural style, building form, scale and massing, while creating a framework for good urban design practices which create a positive experience for the pedestrian.

*Site layout and orientation.* The City is committed to creating and preserving a network of linkages for pedestrians. Consequently, pedestrian and vehicle connections between public rights-of-way and private property are subject to a hierarchy of transportation, which begins with the pedestrian.

*Building layout and orientation.*

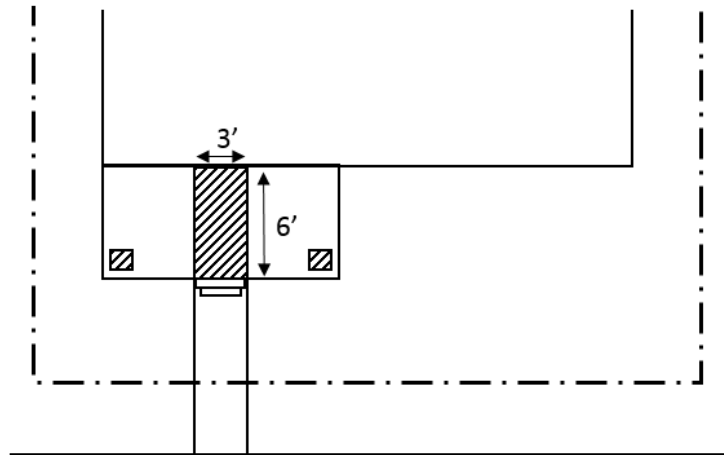
1. For nonresidential uses, all service areas and loading docks shall be located behind the front facade line of the principal structure.
2. All mechanical equipment and utility functions (e.g. electrical conduits, meters and HVAC equipment) shall be located behind the front façade line of the principal structure. Mechanical equipment that is visible from the primary street shall be screened with a material that is compatible with the architecture of the principal structure.
3. Accessory structures (including sheds) shall be located behind the front façade line of the principal structure.


*Vehicle connections and parking.*

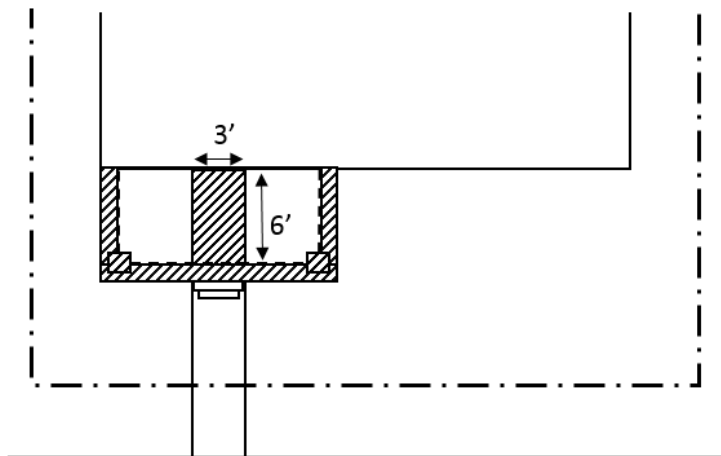
1. The following vehicle connection regulations are required for properties located within NT-2, NT-3 or NT-4 and are recommended for properties located within NT-1. Access for new garages and driveways shall be designed to take advantage of the first available alternative in the following prioritized list:
  - a. Driveways and garage doors shall face the alley;
  - b. Where no alley exists, driveways and garage doors shall face the side street and shall be restricted to the rear one-third of the lot;
  - c. Where access via the rear third of the lot is not possible and/or the alley is unable to be traversed with a vehicle due to physical obstructions or barriers, driveways and garage doors shall be permitted within the front two-thirds of the lot facing the side street;
  - d. In the absence of an alley and a side street, a single lane width curb cut and driveway shall be allowed which shall be located to the side of the principal structure. Required parking shall be allowed only behind the front façade line of the principal structure, including the porch, if any.
2. When a driveway is allowed in the front yard, not more than one curb cut shall be allowed for each property except as follows:
  - a. Where the property is abutting a major street identified on the Future Major Streets Map within the Comprehensive Plan; and
  - b. Where in accordance with the access requirements of this section, the only available access point is from the major street; and
  - c. Where a circular driveway and second curb cut is necessary to permit vehicles to enter and exit the major street in a forward motion. Pursuant to this section, a second curb cut shall only be approved for the purpose of improved traffic safety and shall not be approved for other ancillary uses, such as access to accessory parking spaces or the maneuvering of domestic equipment.


*Porches and Pedestrian connections.*

1. Principal entries to a structure shall be connected to the public sidewalk and the curb of the primary street with a sidewalk except when the structure faces a major street which does not allow on-street parking in front of the property.
2. Where a driveway exists in the legal front yard, the required sidewalk from the principal entry may be connected to the driveway in lieu of the connection to the street.
3. Principal entries shall include a porch, portico or stoop, with a minimum usable depth of six feet (measured from the front façade of the structure to the interior side of the railing or, if there is no railing, the furthest edge of the floor) and 48 square feet of total floor area, excluding a 3-foot wide walkway to the primary entrance and the floor area of any column. Where a railing exists, only the floor area within the interior side of the railing shall count towards the minimum floor area.
4. Existing public sidewalks shall be repaired to City standards. Where no public sidewalk exists, a public sidewalk shall be constructed in accordance with the requirements of the subdivision section.

**Porch Dimension Requirement:  
Example without Railing**

 This area excluded from the minimum floor area requirement of 48 sq ft

**Porch Dimension Requirement:  
Example with Railing**

 This area excluded from the minimum floor area requirement of 48 sq ft

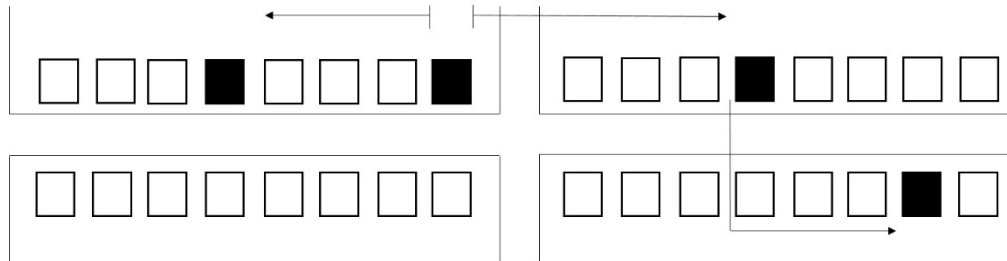
*Building and architectural design standards.* All buildings should present an inviting, human scale facade to the streets, internal drives, parking areas and surrounding neighborhoods. The architectural elements of a building should give it character, richness and visual interest.

*Building style.*

1. New construction shall utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies. See Architectural and Building Design Section, currently Section 16.40.020.



- Design of homes on the same block face on either side of the street or within an adjacent block face on either side of the street shall be varied, such that a substantially similar design will not be replicated. There shall be a minimum separation of three parcels in every direction before a substantially similar design can be repeated. Variation shall include at least three of the following elements: architectural style, roof form (principal or porch), materials, architectural details (doors, windows, columns, porches).



- Renovations, additions and accessory structures shall utilize the architectural style of the existing structure, or the entire existing structure shall be modified to utilize an identifiable architectural style which is recognized by design professionals as having a basis in academic architectural design philosophies.

#### *Building form.*

- The front porch shall be elevated at least 12 inches above the abutting finished grade level as measured abutting the porch at the front entry. For Certified Affordable/Workforce Housing, the required minimum elevation shall be 8-inches, and the pedestrian walkway at the entrance may be graded to allow zero step entrance in accordance with the City Visitability ordinance, provided that all other areas of the porch meet the 8-inch minimum above the abutting finished grade.
- The front façade of a building shall create a width-to-height ratio of no more than 1:1. Buildings that exceed the width-to-height ratio of 1:1 shall feature architectural fenestration creating a bay system that divides the building design into a maximum ratio of 1:1. This may be done through pilasters, arcades, building line and roof line off-sets, materials and other appropriate architectural features.

*Wall composition and transparency.* Wall composition standards ensure that ground-level storefronts and multifamily and single-family residential buildings offer attractive features to the pedestrian. Wall composition standards also mitigate blank walls and ensure that all sides of a building have visual interest. Transparency enhances visual connections between activities inside and outside buildings, thereby improving pedestrian safety. The following criteria shall not apply to accessory structures.

- Doors, windows and other appropriate fenestration, architectural details and features shall be incorporated into all sides of a building. There shall be no blank facades, except that garages located at the rear one-third of the lot may have blank facades but not on the street side. No portion of a facade shall contain a blank area greater than 16 feet in width.
- At least 30 percent of primary and secondary street facades shall consist of fenestration or architectural details and features. At least 20 percent of the front two-thirds of interior side façades shall consist of fenestration or architectural details and features. At least 10 percent of the rear façade on corner lots and through lots shall consist of fenestration or architectural details and features. At least 50 percent of the required fenestration shall be transparent (i.e.,

window glass). For Certified Affordable/Workforce Housing, the primary and secondary street facades minimum shall be 20 percent and the interior side yard facade minimum shall be 15 percent.

For yards on through-lots see the Dimensional Regulations and Lot Characteristics Section.

3. Structures which are situated on corner lots, through lots, or, by the nature of the site layout have a facade which is clearly visible from rights-of-way, shall be designed with full architectural treatment on all sides visible from rights-of-way. Full architectural treatment shall include roof design, wall materials, trim, and door and window openings. While it is recognized that buildings have primary and secondary facades, the construction materials and detailing should be similar throughout. Windows on the street side facades shall be evenly distributed in a consistent pattern, unless a different proportion is permitted or required by an identifiable architectural style.
4. Window sashes and glass shall be square or vertical, unless a different proportion is permitted or required by an identifiable architectural style.
5. Windows shall not be flush mounted. Windows recessed less than three inches shall feature architectural trim including a header, sill and side trim or decorative shutters. Windows recessed three inches or more shall feature a window sill. Trim is not required if not consistent with the architectural style, i.e. Modern or Mediterranean Revival.
6. Where the required design elevation is equal to or greater than 48" above finished grade, an articulated base is required to delineate the first floor level. The base may consist of a different material or decorative band, depending on the architectural style.

*Roofs.* Rooflines add visual interest to the streetscape and establish a sense of continuity between adjacent buildings. When used properly, rooflines can help distinguish between residential and commercial land uses, reduce the mass of large structures, emphasize entrances, and provide shade and shelter for pedestrians.

1. Buildings shall provide a pitched roof or a flat roof with a decorative parapet wall compatible with the architectural style of the building.

*Garages.* Garage standards maintain and enhance the attractiveness of the streetscape and are influenced by a hierarchy of transportation, which begins with the pedestrian. The requirements relating to garage doors do not apply to garage doors facing alleys.

1. Garage doors facing the primary street:
  - a. Shall be located at least ten feet behind the front façade line of the principal structure. In the NT-1, NT-2 and NT-4 districts, this distance shall be measured from the front of the front porch, if any.
  - b. Shall not exceed 40 percent of the linear frontage of the façade of the principal structure and shall have decorative garage doors. Decorative garage doors shall include raised panels with decorative hardware and/or glazing, or other designs approved by the POD which serve to visually break up a blank door.
2. Garage doors facing a non-primary side street, where adjoining side yard abuts another property's front yard:
  - a. Shall be one or two single bay garage doors. Double garage bay doors are prohibited.
  - b. Shall not exceed 40 percent of the linear frontage of the facade of the principal structure.

- c. Shall be decorative garage doors or feature at least one of the following enhancements: an arbor system surrounding the garage doors, or a projecting balcony, cupola, or other decorative element above the garage to lessen the impact of the vehicular orientation of the house. The decorative feature proposed by the applicant shall be compatible with the principal structure and must be approved by the POD. This decision may only be appealed by the property owner.

*Building materials.* Building material standards protect neighboring properties by holding the building's value longer, thereby creating a greater resale value and stabilizing the value of neighboring properties.

1. Building materials shall be appropriate to the selected architectural style and shall be consistent throughout the structure except for one story covered patios or screen enclosures located at least ten feet behind the front façade of the principal structure. If multiple materials are used in a building façade, the visually heavier materials shall be located below the lighter materials, e.g. brick or stone shall be located below stucco or siding materials, unless they are used as architectural features.

*Accessory structures and ancillary equipment and carports.* Accessory structures shall reinforce the pedestrian character of the City. Above-ground utility and service features, accessory storage structures, and carports shall be located and designed to reduce their visual impact upon the streetscape. See Use Specific Standards for Accessory Structures.

1. Detached accessory structures, such as garages and garage apartments shall be consistent with the architectural style, materials, and color of the principal structure. For multi-story buildings, no portion of an exterior wall on any floor may contain a blank area greater than 16-feet in width except as allowed herein for garages.

(Code 1992, § 16.20.010.11; Ord. No. 876-G, § 2, 2-21-2008; Ord. No. 1029-G, § 15, 9-8-2011; Ord. No. 287-H, § 5, 7-20-2017; Ord. No. 375-H, § 4, 9-5-2019)

#### 16.50.020.4. - Development standards.

##### 16.50.020.4.1. - Accessory storage and gardening structures and carports.

At any use in neighborhood districts and at single family dwelling units in any district, one accessory storage structure (a pre-constructed shed), one carport, and one gardening hoop house, cold frame, greenhouse or vertical vegetable structure shall be allowed which are exempt from design requirements as set forth herein. Any other such structures are allowed in the buildable area provided that they comply with the design requirements and setbacks for the zoning district.

##### 1. General requirements.

- a. *Anchoring.* The structure shall be properly anchored to resist wind and other forces.
- b. *Utility easements.* If a structure is secured to the ground by a foundation and not capable of being moved intact, no portion of the structure shall encroach into a utility easement.
- c. *Right-of-way and access easements.* No structure shall encroach into a right-of-way or private access easement.
- d. *Use restrictions.* The structure shall only be utilized for storage and shall not be used for operation of mechanical equipment.

##### 2. *Through lots.* On a through lot which meets the width, depth and area requirements for a lot in that zoning district, if one front yard is determined to be a rear yard pursuant to the dimensional regulations, and lot characteristics section (currently section 16.60.010) and has a solid, not less than five-foot high, decorative wall or fence, the exempt accessory storage structure shall be setback at least ten feet from that property line.

##### 3. *Design standards for accessory storage and gardening structures.*

- a. An accessory storage structure 100 square feet or less and less than ten feet in height is exempt from the requirement to utilize the architectural style and construction materials of the existing principal structure. See allowable encroachment and setback section.
- b. An accessory storage structure located within the rear one-third of a property, 200 square feet or less in gross floor area, ten feet or less in overall height to the top of roof peak, and screened by a solid masonry wall or decorative wood or vinyl fence measuring six feet or more in height is exempt from the requirement to

utilize the architectural style and construction materials of the existing principal structure.

- c. All other accessory storage structures shall comply with the design and setback requirements of the zoning district.
4. *Code compliance.* All accessory structures shall comply with the Florida Building Code and St. Petersburg Fire Code (e.g. building separation and egress), including the requirement to install a backflow preventor when adding irrigation connected to the potable water system.
5.
  - a. A carport for a single family residential use is exempt from the requirement to utilize the architectural style and construction materials of the existing principal structure if it is: open on three sides, located within the rear one-third of the property, located behind the principal structure, meets the side yard setbacks for the principal structure (if on the streetside it must be hidden by another structure from view from the street), not greater than 440 square feet in area, not greater than 12 feet in height at the beginning of the roofline, and not greater than 15 feet in height at the peak of the roof.
  - b. All other carports shall utilize the architectural style and construction materials of the existing principal structure.

(Code 1992, § 16.50.020.5.1; Ord. No. 893-G, § 9, 9-4-2008; Ord. No. 985-G, § 65, 7-15-2010; Ord. No. 1029-G, § 41, 9-8-2011; Ord. No. 166-H, § 14, 5-21-2015; Ord. No. 287-H, § 21, 7-20-2017; Ord. No. 448-H, § 4, 2-11-2021)



Keith Gambaro  
Cristina Gustilo  
4938 16<sup>th</sup> Street North  
Saint Petersburg, Florida 33703

March 29, 2021

Case No.: 21-58000002  
Request: Approval of an after-the-fact design variance to the NT-1 zoning district accessory structure design requirement.  
Address: 4938 16<sup>th</sup> Street North  
Parcel ID No.: 01-31-16-58914-004-0140

Dear Mr. Keith Gambaro:

This application for administrative approval of a design variance has been denied based on the findings described below. The subject property is a corner lot located at the southwest corner of 16th Street North and 50th Avenue North, in the Greater Grovemont Neighborhood Association. The property is zoned NT-1 (Neighborhood Traditional Single-Family) and was developed with the existing one-story single-family residence in 1947 (per property card records). An after-the-fact design variance to the NT-1 zoning districts accessory structure design requirement was applied for by the owner applicant, in response to a Code Enforcement citation 20-00020210, for constructing a detached carport without a permit.

Codes Enforcement citation 20-00020210 was initiated by the Codes Enforcements Department. The codes-initiated citation noted the presence of a residence with a "metal carport/canopy erected at the rear of the structure." The aluminum carport as-built measures 25-feet in length, 12-feet in width, 14-feet in height, approximately 300 square feet, and is partially enclosed with aluminum walls on two sides by extended roof materials.

Per Section 16.20.010.11 of the NT-1 district regulations, "*Detached accessory structures, such as garages and garage apartments, shall be consistent with the architectural style, materials, and color of the principal structure.*" The architectural elements of the residence and the carport contrast through the exterior material finishes and roof types. The residence is a traditional one-story wood-framed residence, wrapped with horizontal lap siding, with a shingled intersectional gable-ended roof. The home's color palette articulates brown accents along with its doors, windows, soffits, fascia, awning, and roof against its beige siding. The carport, in comparison, is a standing seam, bow framed metal-roofed structure. The metal roof extends along the lateral sides of the structure, creating partial walls along the top half of the side yard walls.

NT district regulations reiterate the intended protection of the established character found within traditional zoning districts in stating that "Above-ground utility and service features, accessory storage structures, and carports shall be located and designed to reduce their visual impact upon the streetscape." Moreover, it further clarifies the intent of the district's design standards by stating that "Building material standards protect neighboring properties by holding the building's value longer, thereby creating a greater resale value and stabilizing the value of neighboring properties."



P.O. Box 2842  
St. Petersburg, FL 33731-2842  
T: 727-893-7111

In recognition of the zoning districts' design regulations on accessory structures greater than 10-feet in height and 100 square feet in size, Section 16.50.020.4.1 offers codified relief to these standards by offering design exemptions to mitigate further visual impact of larger accessory structures such as carports. Per Section 16.50.020.4.1.5.:

*"a. A carport for a single family residential use is exempt from the requirement to utilize the architectural style and construction materials of the existing principal structure if it is: open on three sides, located within the rear one-third of the property, located behind the principal structure, meets the side yard setbacks for the principal structure (if on the streetside it must be hidden by another structure from view from the street), not greater than 440 square feet in area, not greater than 12 feet in height at the beginning of the roofline, and not greater than 15 feet in height at the peak of the roof.*

*b. All other carports shall utilize the architectural style and construction materials of the existing principal structure."*

At the time of permitting, applications must demonstrate compliance with the zoning district's design regulations or compliance with the design exemption criteria. The carport as constructed would not have received plan review approval under the design exemption criteria due to its streetside yard visibility.

In consideration of the NT zoning district design standards, design exemption criteria, and the intent identified by the code, the request is considered inconsistent with the purpose and intent of the Land Development Regulations.

You have a right to appeal staff's decision to deny the design variance within 10 days from the date of this letter. Appeals are heard before the Development Review Commission. An appeal is a statement on your part that you do not believe the findings of staff determination are correct, and you have evidence to refute the denial. For an appeal, you must submit a cover letter to the Development Review Services Division, 1 4th Street North.

Please feel free to contact Shervon Chambliss at 727-893-4238 with any questions.

Sincerely,



Jennifer C. Bryla, AICP  
Zoning Official/Development Review Manager  
Development Review Services Division  
Planning and Development Services Department

JCB/SAC:iw

ec: Design Variance, Application Narrative, Code Enforcement History, Photographs, Property Card

# SURVEY

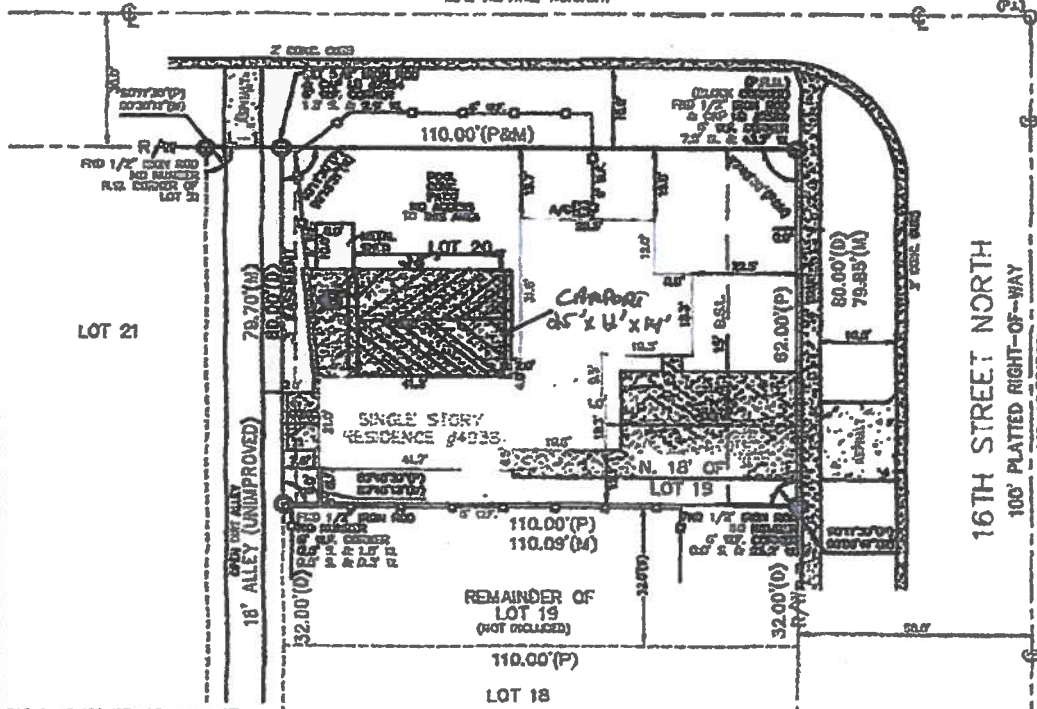
L-1  
18.00'(P)  
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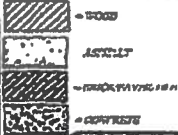
## 50TH AVENUE NORTH

60' PLATTED RIGHT-OF-WAY

20'± ASPHALT ROADWAY



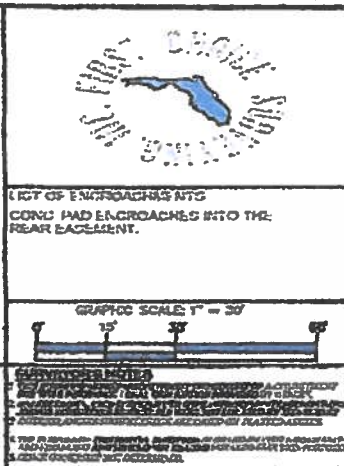
PLD. & - PAVED. IDENTIFICATION NUMBER



**SURVEYOR'S NOTE:**  
IMPROVEMENTS IN THE REAR OF THE PROPERTY WERE LOCATED AS BEST AS THEY COULD BE AS THERE WAS NO ACCESS TO THAT ARE.

PROPERTY ADDRESS: 4938 16TH STREET NORTH - ST. PETERSBURG, FLORIDA 33703

SYMBOL	DESCRIPTION
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**LEGAL DESCRIPTION:** LOT 20 AND THE NORTH 18 FEET OF LOT 19, GROVEMONT SUBDIVISION NO. 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED AT PLAT BOOK 17, PAGE 59, IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

**CERTIFIED TO:**  
OLAYINKA AREMU  
(EXCLUSIVELY)

**CLIENT NO:** N/A  
**FILE NO:** 110119  
**APPROVED BY:** AS  
**CHECKED BY:** TS  
**DRAWN BY:** GS  
**DATE:** 11/01/19

I hereby certify that the survey of the herein described property was prepared under my direct supervision and meets the requirements set forth by the Florida Board of Professional Surveyors and Engineers, Chapter 47, F.S., Florida Administrative Code, Chapter 61, Part 1, and the Florida Statutes.

**GRAPHIC SCALE: 1" = 30'**

**STATION**  
110119

**DATE**  
11/01/19

**PLANNING**  
11/01/19





**STRUCTURAL DESIGN  
STANDARD PACKAGE  
FULLY OPEN (CARPORT) BUILDING**

**MAXIMUM 30'- 0" WIDE X 20'- 0" HEIGHT-  
BOX EAVE FRAME AND BOW FRAME**

**7 January 2020  
Revision 0  
M&A Project No. 19294S**

**Prepared for:**

**Best Metal Buildings, LLC  
484 NW Turner Avenue  
Lake City, Florida 32055**

**Prepared by:**

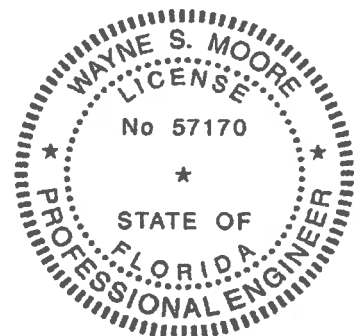
**Moore and Associates Engineering  
and Consulting, Inc.**

**Digitally signed  
by Wayne S  
Moore  
Date:  
2020.01.07  
12:31:39 -05'00'**

**1009 East Avenue  
North Augusta, SC 29841  
  
401 South Main Street, Suite 200  
Mount Airy, NC 27030**



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING**



**This item has been electronically signed and  
sealed by Wayne S. Moore, PE.  
using a Digital Signature and date.**

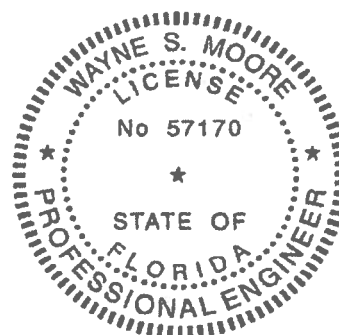
**Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copies.**

## INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT OPEN CARPORT STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2015 IBC, AND 2012 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
  - A) DEAD LOAD = 15 PSF
  - B) LIVE LOAD = 12 PSF
  - C) GROUND SNOW LOAD = 10 PSF (UNBALANCED SNOW LOAD DUE TO DRIFTING HAS NOT BEEN EVALUATED).
4. LOW ULTIMATE WIND SPEED (LW) 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH); MAXIMUM RAFTER/POST AND END COLUMN SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED (HW) 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH); MAXIMUM RAFTER/POST AND END COLUMN SPACING = 4.0 FEET.
6. END WALL COLUMNS (POST) ARE EQUIVALENT IN SIZE AND SPACING TO SIDE WALL POSTS (UNLESS NOTED OTHERWISE).
7. RISK CATEGORY I.
8. WIND EXPOSURE CATEGORY B.
9. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2"x2 1/2"-14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE). WHERE TS 2 1/2" x 2 1/2" - 14 GAUGE IS SPECIFIED, TS 2 1/4" x 2 1/4" - 12 GAUGE MAY BE USED AS AN OPTION.
10. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 10" O.C. (MAX.) FOR LOW WIND AND 6" O.C. (MAX.) FOR HIGH WIND.
11. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY. ROOFING WITH SLOPES LESS THAN 3:12 MUST BE LAP SEALANT.
12. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
13. STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG AND ARE APPLICABLE ONLY IN MEDIUM TO STIFF SOILS (SUITABLE SOILS). HELIX ANCHORS, SEE DETAIL 2B, MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED. STANDARD GROUND ANCHORS ARE ONLY ALLOWED FOR LOW WIND APPLICATIONS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 

SOL SITE CLASS = D  
RISK CATEGORY I

$R = 3.25$        $I_E = 1.0$   
 $S_{MS} = 2.039$        $V = C_s W$   
 $S_{M1} = 1.258$



This item has been electronically signed and sealed by Wayne S. Moore, PE, using a Digital Signature and date.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: JG**

**CHECKED BY: PMH**

**PROJECT NO: VSM**

**CLIENT: BNB**

**BEST METAL BUILDINGS, LLC**  
 484 NW TURNER AVENUE  
 LAKE CITY, FLORIDA 32055  
 30'-0" x 20'-0" SP FULLY OPEN STRUCTURE

**DATE: 1-7-20**

**SCALE: NTS**

**ITB NO: 132248**

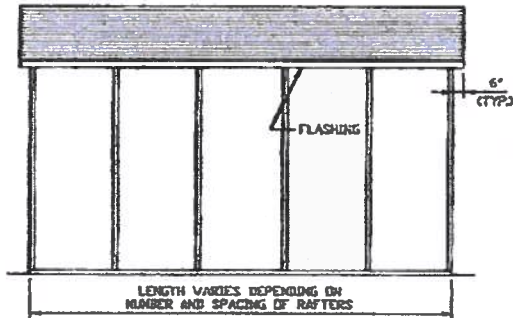
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**DWG NO: SK-1**

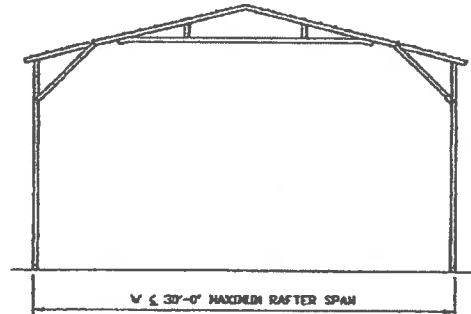
**REV: 0**

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### BOX EAVE FRAME RAFTER STRUCTURE

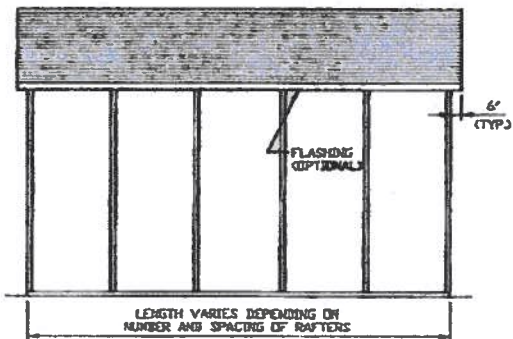


**TYPICAL SIDE ELEVATION**  
SCALE: NTS

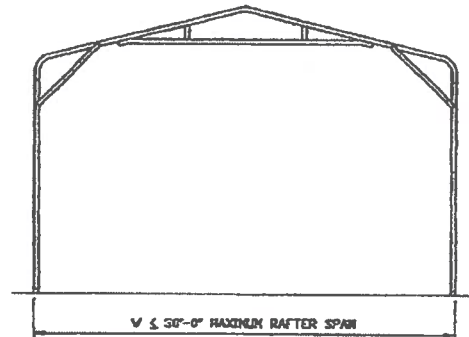


**TYPICAL END ELEVATION**  
SCALE: NTS

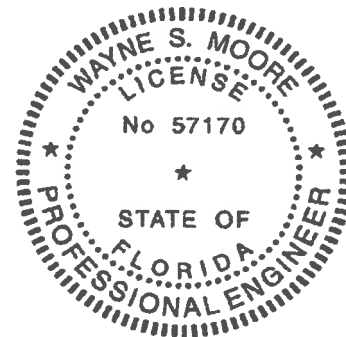
### BOX FRAME RAFTER STRUCTURE



**TYPICAL SIDE ELEVATION**  
SCALE: NTS



**TYPICAL END ELEVATION**  
SCALE: NTS



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**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: JG**

**CHECKED BY: PHM**

**PROJECT NO: VSH**

**CLIENT: BMB**

**BEST METAL BUILDINGS, LLC**

484 NW TURNER AVENUE  
LAKE CITY, FLORIDA 32055  
30'-0" X 20'-0" SP FULLY OPEN STRUCTURE

**DATE: 1-7-20**

**SHT. 4**

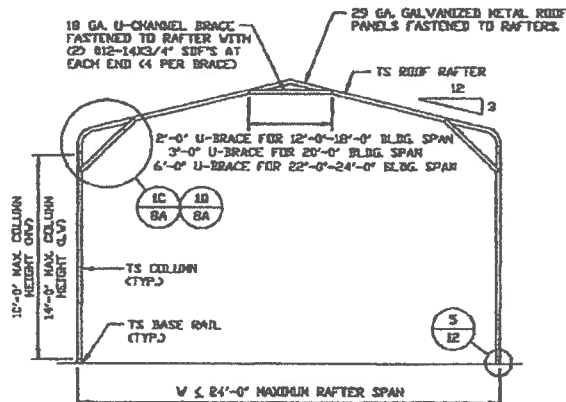
**SCALE: NTS**

**DWG. NO: SK-1**

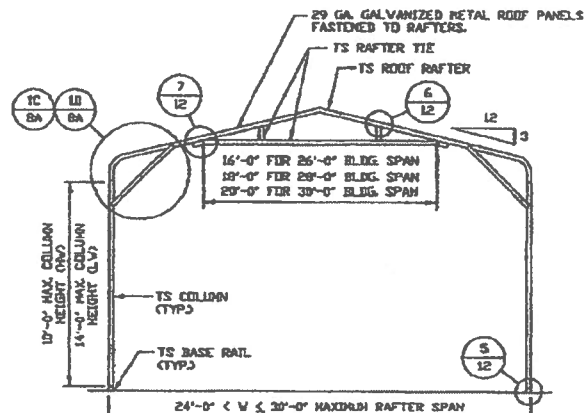
**ISS. NO: 100048**

**REV: 0**

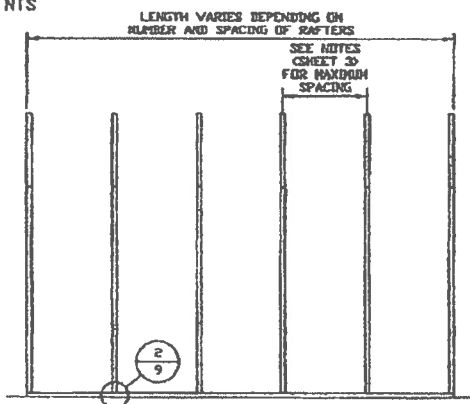
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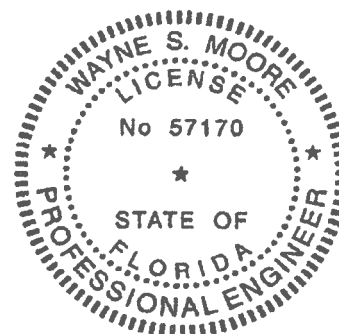
**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
SCALE: NTS



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DRAWN BY: JG

CHECKED BY: PJM

PROJECT NO: V3H

CLIENT: BJB

**BEST METAL BUILDINGS, LLC**  
484 NW TURNER AVENUE  
LAKE CITY, FLORIDA 32055  
30'-0" x 20'-0" SP FULLY OPEN STRUCTURE

DATE: 1-7-20

SHT. 7A

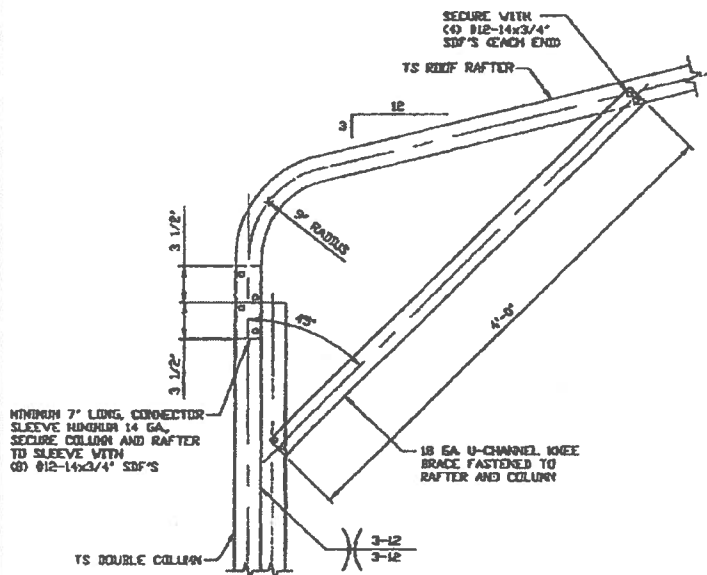
SCALE: NTS

DWG. NO: SK-1

JOB NO: 192945

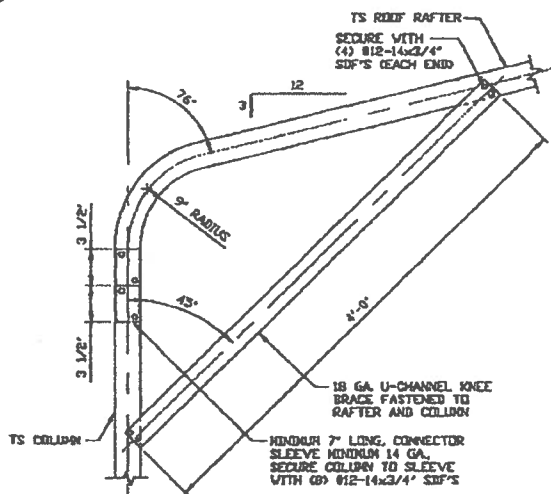
REV: 0

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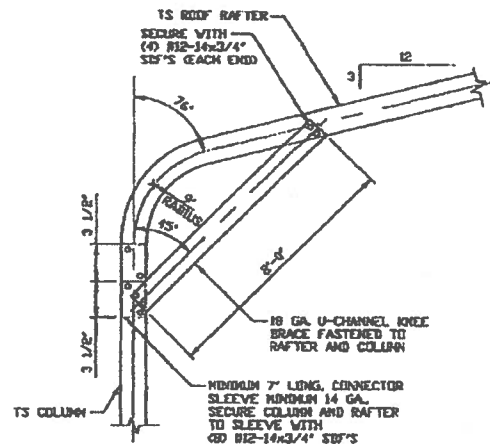
**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL FOR  
HEIGHTS 10'-0" < TO ≤ 16'-0" (HW)  
AND HEIGHTS 14'-0" < TO ≤ 16'-0" (LW)**  
SCALE: NTS

1B



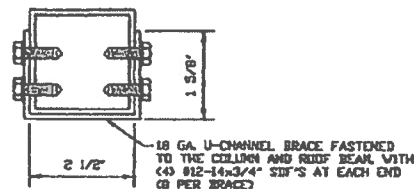
**BOW EAVE RAFTER COLUMN  
CONNECTION DETAIL FOR  
HEIGHTS 8'-0" < TO ≤ 10'-0" (HW)  
AND HEIGHTS 12'-0" < TO ≤ 14'-0" (LW)**  
SCALE: NTS

1C

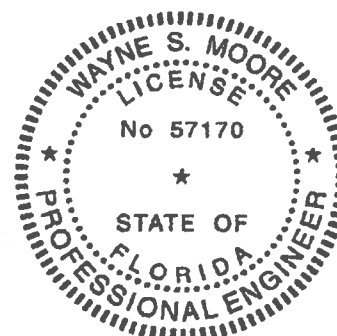


**BOW EAVE RAFTER COLUMN  
CONNECTION DETAIL FOR  
HEIGHTS ≤ 8'-0" (HW)  
AND HEIGHTS ≤ 12'-0" (LW)**  
SCALE: NTS

1D



**BRACE SECTION**  
SCALE: NTS



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**MOORE AND ASSOCIATES  
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**DRAWN BY: JG**

**CHECKED BY: PMH**

**PROJECT NO: VSM**

**CLIENT: BMD**

**BEST METAL BUILDINGS, LLC  
484 NW TURNER AVENUE  
LAKE CITY, FLORIDA 32055  
30'-0" x 20'-0" SP FULLY OPEN STRUCTURE**

**DATE: 1-7-20**

**SCALE: NTS**

**JOB NO: 19894E**

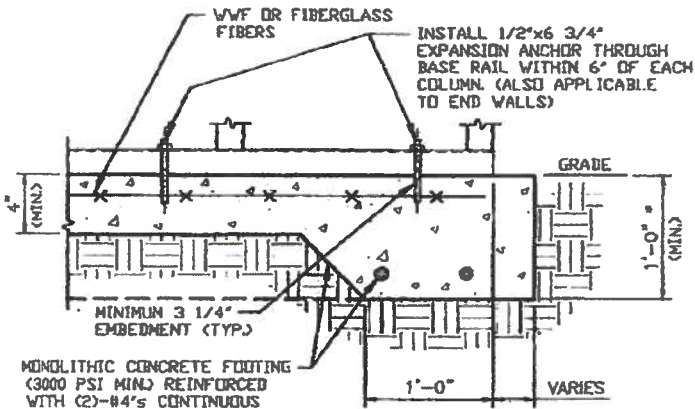
**DWG. NO: SK-1**

**REV: 0**

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## BASE RAIL ANCHORAGE OPTIONS

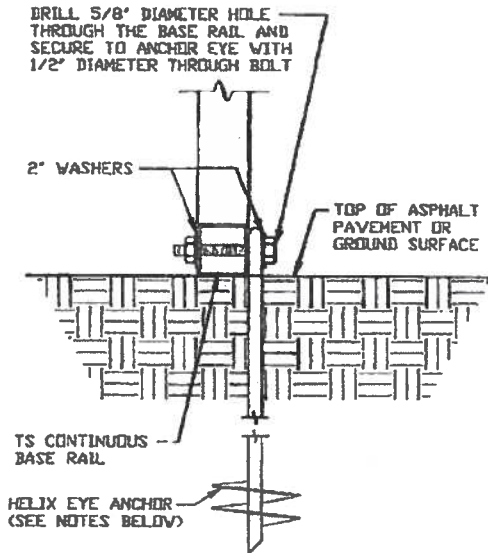


2A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS  
MINIMUM ANCHOR EDGE DISTANCE IS 4".

■ COORDINATE WITH LOCAL BUILDING CODE AND/OR BUILDING OFFICIAL REGARDING REQUIRED FOOTING DEPTH.



2B

### GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

### GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

#### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

#### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:  
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

#### REINFORCING STEEL:

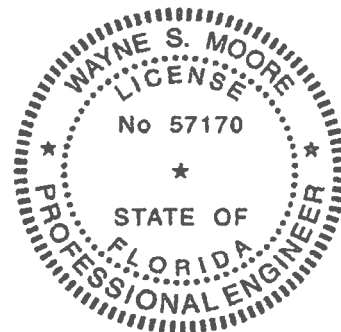
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

#### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

#### HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



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**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: JG

CHECKED BY: PJM

PROJECT NO: V3M

CLIENT: BMB

BEST METAL BUILDINGS, LLC  
484 NW TURNER AVENUE  
LAKE CITY, FLORIDA 32055  
30'-0"x20'-0" SP FULLY OPEN STRUCTURE

DATE: 1-7-20

SHT. 9

SCALE: NTS

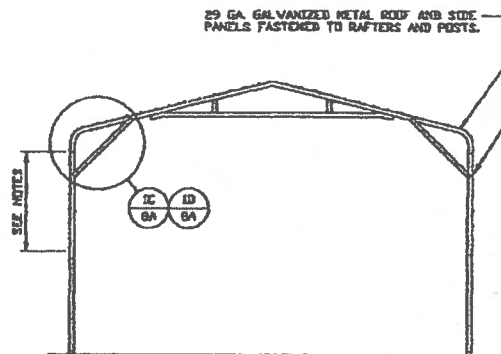
DWG. NO: SK-1

JOB NO: 19234S

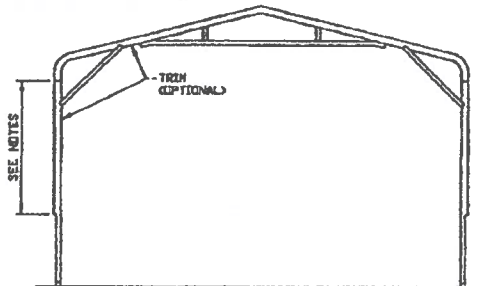
REV: 0

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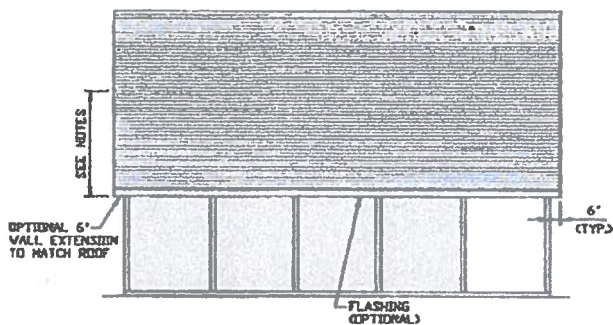
## BOW RAFTER EXTRA SIDE PANEL OPTION



### TYPICAL RAFTER/COLUMN FRAME SECTION - EXTRA SIDE PANELS SCALE: NTS



### TYPICAL END ELEVATION EXTRA SIDE PANELS SCALE: NTS



### TYPICAL SIDE ELEVATION EXTRA SIDE PANELS SCALE: NTS

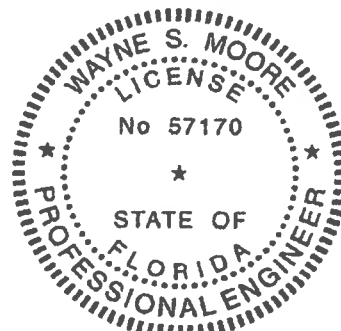
#### NOTES:

##### CLW:

- 3'-0" MAX. (FOR EAVE HEIGHT ≤ 14'-0")
- 16'-0" MAX. (FOR EAVE HEIGHT 14'-0" < TO ≤ 16'-0")
- 20'-0" MAX. (FOR EAVE HEIGHT 16'-0" < TO ≤ 20'-0")

##### CHW:

- 3'-0" MAX. (FOR EAVE HEIGHT ≤ 14'-0")
- 9'-0" MAX. (FOR EAVE HEIGHT 14'-0" < TO ≤ 16'-0")
- 20'-0" MAX. (FOR EAVE HEIGHT 16'-0" < TO ≤ 20'-0")



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**DRAWN BY: JE**

**CHECKED BY: PMH**

**PROJECT NO: VMH**

**CLIENT: BMB**

**BEST METAL BUILDINGS, LLC**  
484 NW TURNER AVENUE  
LAKE CITY, FLORIDA 32055  
30'-0"x20'-0" SP FULLY OPEN STRUCTURE

**DATE: 1-7-20**

**SCALE: NTS**

**JOB NO: 19224S**

**SHT. 16**

**DWG. NO: SK-1**

**REV: 0**

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Sent Federation of Inner-City

Street: Community Organizations (FICO) 827297

c/o Kimberly Frazier-Leggett

City: 3301 24th Ave. S

PS: St Petersburg, FL 33712

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KENNETH CITY CRP  
FEB 2021  
USPS - BR 784

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 **KG1974** <keithgambro@yahoo.com>  
To: [varance@stipecona.org](mailto:varance@stipecona.org)  
Cc: Keith Gambro  
Bcc: Keith Gambro

Tue Feb 2 at 9:39 PM

- Inbox 7
- Unread
- Starred
- Drafts 1
- Sent**
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- Views Show
- Folders Hide
- + New Folder
- Bills
- Boys
- Child Sup.

To: Council of Neighborhood Associations (CONA)  
c/o Mr Tom Lally

Good Morning Mr Lally

We are forwarding this to you as the previous application had Ms Landon's contact. According to the updated application paperwork checked, your information was listed

Please see scanned copy for your records the "Design Vanance Request" for 4938 16th St. N, St. Petersburg FL 33703 Attached are as follows

- 1) Design Vanance Request and property survey (1 pages)
- 2) Elevation Drawings and photo (8 pages)

If you should have any further questions feel free to reach out, contact information is listed below

Thank you

Keith Gambro & Cristina Gusilo  
4938 16th St. N  
St Petersburg, FL 33703  
c# 727-452-8682  
e keithgambro@yahoo.com

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KG1974 <kethgambaro@yahoo.com>  
To: GreaterGovemont@gmail.com  
Cc: Keith Gambaro  
Bcc: Keith Gambaro

To: Greater Govemont Neighborhood Association  
c/o Mr. Lee Palmer

Good Morning Mr. Palmer,

Please see scanned copy for your records the "Design Variance Request" for 4938 16th St N St Petersburg FL 33703 Attached are as follows

- 1) Design Variance Request and property survey (11 pages)
- 2) Elevation Drawings and photo (8 pages)

If you should have any further questions feel free to reach out, contact information is listed below

Thank you

Keith Gambaro & Chistina Gusillo  
4938 16th St N  
St. Petersburg, FL 33703  
c# 727-452-8682  
e kethgambaro@yahoo.com

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## Shervon A. Chambliss

---

**From:** Shervon A. Chambliss  
**Sent:** Wednesday, February 03, 2021 12:21 PM  
**To:** 'KG1974'  
**Subject:** RE: Design Variance Request - case no. 20-00020210 (email receipts)

Good Afternoon,

Please be advised that because the notices that were sent to the associations were not sent at least 10 days before receiving your application, the department when it meets to distribute cases, will have to determine if your application is considered complete. To be transparent, applications that do not comply with this requirement typically get deferred to the next cycle if they are otherwise considered complete. Before completing your applications staff worksheet, I must ask when you will be able to provide the application fee?

Regards,

Shervon Chambliss  
Planner I, Planning and Development Services  
City of St. Petersburg  
1 Fourth St N, St. Petersburg, FL 33701  
727-893-4238

**From:** KG1974 <keithgambaro@yahoo.com>  
**Sent:** Wednesday, February 03, 2021 11:06 AM  
**To:** Shervon A. Chambliss <shervon.chambliss@stpete.org>  
**Cc:** Keith Gambaro <keithgambaro@yahoo.com>  
**Subject:** Design Variance Request - case no. 20-00020210 (email receipts)

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Shervon,

Please see screenshots of emails sent last night to Mr. Lee Palmer (Neighborhood Assoc.) & Mr. Tom Lally (CONA). Please let us know if any questions. Thank you.



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keithgamba... 7



KG1974 <keithgambaro@yahoo.com>  
To: GreaterGrovemont@gmail.com  
Cc: Keith Gambaro  
Bcc: Keith Gambaro

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- Starred
- Drafts 1
- Sent
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- Trash
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- Views Show
- Folders Hide
- + New Folder
- Bills
- Boys
- Child Sup...

To: Greater Grovemont Neighborhood Association  
c/o Mr. Lee Palmer

Good Morning Mr. Palmer,

Please see scanned copy for your records the "Design Variance Request" for 4938 16<sup>th</sup> are as follows:

- 1) Design Variance Request and property survey (11 pages)
- 2) Elevation Drawings and photo (8 pages)

If you should have any further questions feel free to reach out, contact information is li

Thank you,

Keith Gambaro & Cristina Gustilo  
4938 16th St N  
St Petersburg, FL 33703  
c# 727-452-8682  
e keithgambaro@yahoo.com

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KG1974 <keithgambaro@yahoo.com>

To: variance@stpetecona.org

Cc: Keith Gambaro

Bcc: Keith Gambaro

To: Council of Neighborhood Associations (CONA)  
c/o Mr. Tom Lally

Good Morning Mr. Lally,

We are forwarding this to you as the previous application had Ms. Landon's contact. A paperwork checklist, your information was listed.

Please see scanned copy for your records the "Design Variance Request" for 4938 16<sup>th</sup> are as follows:

- 1) Design Variance Request and property survey (11 pages)
- 2) Elevation Drawings and photo (8 pages)

If you should have any further questions feel free to reach out, contact information is li

Thank you,

Keith Gambaro & Cristina Gustilo  
4938 16th St. N  
St. Petersburg, FL 33703  
c#: 727-452-8682  
e: keithgambaro@yahoo.com



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Mar 15, 2021 8:55:01 AM EDT

File Edit List Commands Help

SUNGARD PUBLIC SECTOR  
NavLine

Global Location Inquiry - Building Permit Applications

Property address: 4938 16TH ST N

Parcel Identification Nbr01/31/16/33876/000/0200/

Application					Tenant	
Year	Number	Type	Status	Date	Number	Name
20	09001678	ADDR	IP	9/23/20		
20	09000390	SPSR	CL	9/04/20		Gustilo
16	03001476	ROOF	CL	3/25/16		
13	11000682	ARES	CL	11/19/13		
95	00023983	ROOF	AP	11/07/95		
90	08240055	OLD	CP	8/24/90		
90	08240053	OLD	CP	8/24/90		

OK

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Display location L...

Mar 15, 2021 8:55:16 AM EDT

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SUNGARD PUBLIC SECTOR

NaviLine

Related Cases And Inspection Selection

Property address, location ID:

4938 16TH ST N

Parcel Identification Nbr:

01/31/16/33876/000/0200/

Old account number:

10450340

Number	Status	Date	Insp	Description
20 00020210	ACTIVE	8/27/20	SGL	PERMIT(S)
20 00007839	CASE CLOSED	4/01/20	OSS	SEARCH FOR ACTIVE VIOLATIONS
19 00031918	CASE CLOSED	12/05/19	TLM	CIVIL CITATION - JTD
19 00031912	CASE CLOSED	12/05/19	TLM	CIVIL CITATION
19 00028269	CASE CLOSED	10/23/19	OSS	SEARCH FOR ACTIVE VIOLATIONS
19 00024936	CASE CLOSED	9/17/19	OSS	SEARCH FOR ACTIVE VIOLATIONS
18 00002627	CASE CLOSED	1/31/18	RSH	CIVIL CITATION - ALLEYS
17 00022442	CASE CLOSED	8/28/17	TLM	CIVIL CITATION - YARD PARKING
16 00025401	CASE CLOSED	11/08/16	OSS	SEARCH FOR ACTIVE VIOLATIONS
13 00023423	CASE CLOSED	11/13/13	JDS	PERMIT(S)
12 00000484	CASE CLOSED	1/10/12	LP	ZONING - COMMERCIAL VEH
10 00018374	CASE CLOSED	9/13/10	RSH	OVERGROWTH
09 00010700	CASE CLOSED	6/19/09	IF	PROPERTY MAINTENANCE
08 00007457	CASE CLOSED	5/01/08	Z02	APPROVED PARKING
05 00020994	CASE CLOSED	10/18/05	AR	PROPERTY MAINTENANCE
04 00023643	CASE CLOSED	11/29/04	AR	APPROVED PARKING
04 00002042	CASE CLOSED	2/02/04	RSH	OVERGROWTH
03 00010663	CASE CLOSED	5/13/03	SL	ZONING VIOLATIONS

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Property Information

Address: 4938 16TH ST N  
SAINT PETERSBURG, FL 337033532  
Location ID: 15943  
Parcel Identification Nbr: 01/31/16/33876/000/0200/  
Old account number: 10450340  
Zoning: GREATER GROVEMONT NBRHD ASSN  
Subdivision:

Case General Information

Case status: AC ACTIVE  
Status date: 8/27/2020  
Case type: PERM PERMIT(S)  
Reported date: 8/27/2020  
Origination: CS CODES INITIATED  
Default inspector: SGL SUSAN LENO 892-5176  
Credit balance: .00  
Disposition: Public  
Pin number: 081670

Owner Information

Owner name: GUSTILO, CRISTINA  
Address: 4938 16TH ST N  
City: SAINT PETERSBURG, FL 337033532  
Phone: 0  
Notice: Y  
Flip:

Violations

Type	Status	Location	Quantity	Date Established	Date Resolved
PERMITS	AC		1	8/27/2020	

Case Data

Description	Data
TYPE USE	SINGLE FAMILY
PLAT SHEET	H-26
OFFICIAL RECORDS BOOK/PA	21012/0568
CEB AGENDA ITEM NUMBER	116
CEB ORDER DAYS	
CEB ORDER FINE AMOUNT/DA	
CEB ORDER COMPLIANCE DAT	
CEB ORDER MAILED DATE	
SPEC MAGISTRATE SCHED DA	
SPEC MAGISTRATE AGENDA N	
SPEC MAG LAST CERT LIEN	
SPEC MAG TOTAL CERT LIEN	
SPEC MAG ORDER MAILED DA	
CEB MEETING DATE	03/24/2021
SPEC MAGISTRATE MEETING	

Active Inspections

(Continued)

Type	Insp ID	Schedule Date	Date
REINSPECTION	SGL	4/29/2021	
<b>Type</b>	<b>Text</b>		
Case narrative	August 27, 2020 2:27:30 PM tlmyrick. Permits required for structure erected at the rear		8/27/2020 8/27/2020
Violation comments			
PERMITS - ACTIVE	Metal carport/canopy erected at the rear of the structure without permits. Contact the permits department for further direction, 727-893-7231		1/11/2021 1/11/2021 1/11/2021
Inspection comments			
001 - INITIAL INSPECTION	August 27, 2020 2:28:15 PM tlmyrick. Structure erected at the rear without permits (metal carport/canopy)		8/27/2020 8/27/2020 8/27/2020
002 - REINSPECTION	Permits applied for and in process. Will continue to monitor progress.		10/05/2020 10/05/2020
Results status			
003 - REINSPECTION	October 29, 2020 1:43:43 PM tlmyrick. Permit is pending. Will continue to monitor		10/29/2020 10/29/2020
Results status			
004 - REINSPECTION	December 1, 2020 3:18:24 PM tlmyrick. Permit in process for a detached carport. Will continue to monitor.		12/01/2020 12/01/2020 12/01/2020
Results status			
005 - REINSPECTION	January 11, 2021 8:09:14 AM brgreen. Permit 20-09001678 was applied for on 09/23/2020 and still showing in process.		1/11/2021 1/11/2021 1/11/2021
Results status			
006 - REINSPECTION	March 8, 2021 3:33:09 PM sgleno. Violations existing at time of inspection		3/08/2021 3/08/2021
Results status			
007 - REINSPECTION	March 12, 2021 11:22:42 AM sgleno. Verified violation existing and variance is in process with Zoning Department.		3/12/2021 3/12/2021 3/12/2021
Results status			
008 - REINSPECTION	Check on variance		3/12/2021
Request status			
Board meeting comments			
Other action comments			

Type	Text	Date
001 - RECORD CHECK	(Continued)	
	August 27, 2020 2:32:44 PM tlmvrick. GUSTILO, CRISTINA GAMBARO, KEITH GUSTILO, LOUIS GUSTILO, PERLA 4938 16TH ST N ST PETERSBURG FL 33703-3532	8/27/2020 8/27/2020 8/27/2020 8/27/2020 8/27/2020 8/27/2020
002 - RECORD CHECK	January 11, 2021 8:10:45 AM brgreen. 01-31-16-33876-000-0200 Compact Property Record Card Tax Estimator Updated January 9, 2021 Email Print Radius Search FEMA/WLM Ownership/Mailing Address Change Mailing Address Site Address GUSTILO, CRISTINA GAMBARO, KEITH GUSTILO, LOUIS GUSTILO, PERLA 4938 16TH ST N ST PETERSBURG FL 33703-3532 4938 16TH ST N ST PETERSBURG	1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021 1/11/2021
003 - TELEPHONE CONVERSATIO	February 18, 2021 3:32:14 PM a4brown. Spoke with Keith Gustilo/452-8682, who has applied with the City for an after fact design variance. Asked him to keep us inform. Will remove from Code Enforcement Board Hearing while in process.	2/18/2021 2/18/2021 2/18/2021 2/18/2021
004 - CASE REMOVED FROM CEB	February 18, 2021 3:35:32 PM a4brown. Case removed from Code Enforcement Board hearing to City Process for design variance.	2/18/2021 2/18/2021 2/18/2021
005 - RETURN RECEIPT REC'D	RETURN RECEIPT RECEIVED FOR THE CODE ENFORCEMENT BOARD NOTICE OF HEARING ADDRESSED TO: Cristina Gustilo SIGNED BY: Covid19 DATED: 2/11/2021 MARCH AGENDA ITEM #116 February 19, 2021 3:44:07 PM ltgreene.	2/19/2021 2/19/2021 2/19/2021 2/19/2021 2/19/2021 2/19/2021
006 - POSTING	March 8, 2021 3:33:43 PM sgleno. Posted B1 at violation address	3/08/2021 3/08/2021
007 - ELECTRONIC MAIL	March 12, 2021 11:21:19 AM sgleno. Exchanged emails with supervisor regarding zoning variance and if this should be removed from hearing. Verified that	3/12/2021 3/12/2021 3/12/2021

Type	Text	Date
008	(Continued) Variance is in process and I should B1 008 - TELEPHONE CONVERSATIO March 12, 2021 11:23:16 AM sgleno. Called Keith Gambaro (452-8682) to verify case has been removed from hearing.	3/12/2021 3/12/2021 3/12/2021 3/12/2021
009	009 - CASE REMOVED FROM CEB March 12, 2021 11:26:57 AM sgleno. Removed to Zoning variance application	3/12/2021 3/12/2021
Land Management information Legal description	GROVEMONT SUB NO. 2 LOT 20 & N 18FT OF LOT 19	
Lien information		

CASE TYPE DISPOSITION DATE ESTABLISHED STATUS STATUS DATE  
Parcel Identification Nbr INSPECTOR TENANT NAME TENANT NBR  
ADDRESS  
PERMIT(S) SUSAN LENO 892-5176 ACTIVE 8/27/20 8/27/20  
01/31/16/33876/000/0200/  
4938 16TH ST N  
SAINT PETERSBURG FL 337033532

CASE DATA: TYPE USE  
PLAT SHEET  
OFFICIAL RECORDS BOOK/PAGE  
CEB AGENDA ITEM NUMBER  
CEB ORDER DAYS  
CEB ORDER FINE AMOUNT/DAY  
CEB ORDER COMPLIANCE DATE  
CEB ORDER MAILED DATE  
SPEC MAGISTRATE SCHED DATE  
SPEC MAGISTRATE AGENDA NUMBER  
SPEC MAG LAST CERT LIEN AMNT  
SPEC MAG TOTAL CERT LIEN AMNT  
SPEC MAG ORDER MAILED DATE  
CEB MEETING DATE  
SPEC MAGISTRATE MEETING DATE  
SINGLE FAMILY  
H-26  
21012/0568  
116  
03/24/2021

NARRATIVE: August 27, 2020 2:27:30 PM tlmymrick.  
Permits required for structure erected at the rear 8/27/20 8/27/20

NOTICE NAMES: GUSTILO, CRISTINA OWNER  
GAMBARO, KEITH CO OWNER

HISTORY: SCHEDULED ACTION STATUS RESULTED DISPOSITION INSPECTOR  
8/27/20 INITIAL INSPECTION COMPLETED 8/27/20 Private TERESA L MYRICK 892-5519  
RSLT TEXT: August 27, 2020 2:28:15 PM tlmymrick.  
Structure erected at the rear without permits (metal  
carport/canopy) 8/27/20 8/27/20  
8/27/20 RECORD CHECK COMPLETED 8/27/20 Private  
NARRATIVE: August 27, 2020 2:32:44 PM tlmymrick.  
GUSTILO, CRISTINA  
GAMBARO, KEITH  
GUSTILO, LOUIS  
GUSTILO, PERLA  
4938 16TH ST N  
ST PETERSBURG FL 33703-3532  
8/27/20 8/27/20 8/27/20 8/27/20 8/27/20 8/27/20

Respond to: 8/27/20 VIOLATION NOTICE  
Send to: Date: 9/29/20 Private  
OWNER



CASE TYPE	DISPOSITION	DATE ESTABLISHED	TENANT NAME	TENANT NBR	STATUS DATE
Parcel Identification Nbr ADDRESS	INSPECTOR	8/27/20	ACTIVE		8/27/20
PERMIT(S) 01/31/16/33876/000/0200/ 4938 16TH ST N SAINT PETERSBURG FL 337033532	Public	SUSAN LENO 892-5176			
Mail tracking #: Name/address:	GUSTILO, CRISTINA 4938 16TH ST N SAINT PETERSBURG, FL 33703-3532				
Telephone: Fax: Email:					
9/29/20	REINSPECTION RSLT TEXT: Permits applied for and in process. Will continue to monitor progress.	COMPLETED 10/02/20	Private	TERESA L MYRICK 892-5519 10/05/20 10/05/20	
10/26/20	REINSPECTION RSLT TEXT: October 29, 2020 1:43:43 PM tlmmyrick. Permit is pending. Will continue to monitor	COMPLETED 10/29/20	Private	TERESA L MYRICK 892-5519 10/29/20 10/29/20	
11/26/20	REINSPECTION RSLT TEXT: December 1, 2020 3:18:24 PM tlmmyrick. Permit in process for a detached carport. Will continue to monitor.	COMPLETED 12/01/20	Private	TERESA L MYRICK 892-5519 12/01/20 12/01/20 12/01/20	
12/30/20	REINSPECTION RSLT TEXT: January 11, 2021 8:09:14 AM brgreen. Permit 20-09001678 was applied for on 09/23/2020 and still showing in process.	COMPLETED 1/11/21	Private	BONNIE GREEN 892-5880 1/11/21 1/11/21 1/11/21	
1/11/21	RECORD CHECK NARRATIVE: January 11, 2021 8:10:45 AM brgreen. 01-31-16-33876-000-0200 Compact Property Record Card Tax Estimator Updated January 9, 2021 Email Print Radius Search FEMA/WLM Ownership/Mailing Address Change Mailing Address Site Address GUSTILO, CRISTINA GAMBARO, KEITH GUSTILO, LOUIS GUSTILO, PERLA 4938 16TH ST N ST PETERSBURG FL 33703-3532 4938 16TH ST N ST PETERSBURG	COMPLETED 1/11/21	Private		
2/03/21	CEB NOTICE OF HEARING	ISSUED 2/03/21	Private		
Respond to:	Date: 3/24/21				

PROGRAM CE200L  
City of St. Petersburg, Florida

CASE TYPE DISPOSITION DATE ESTABLISHED STATUS  
Parcel Identification Nbr INSPECTOR TENANT NAME TENANT NBR STATUS DATE  
ADDRESS

PERMIT(S) Public 8/27/20 ACTIVE 8/27/20

01/31/16/33876/000/0200/  
4938 16TH ST N SUSAN LENO 892-5176

SAINT PETERSBURG FL 337033532  
Send to: OWNER  
Mail tracking #: GUSTILO, CRISTINA  
Name/address: 4938 16TH ST N  
SAINT PETERSBURG, FL 33703-3532

Telephone:  
Fax:  
Email:

2/03/21 CEB EVIDENTIARY FACT SHEET ISSUED 2/03/21 Private  
Respond to: OWNER  
Send to:  
Mail tracking #: GUSTILO, CRISTINA  
Name/address: 4938 16TH ST N  
SAINT PETERSBURG, FL 33703-3532

Telephone:  
Fax:  
Email:

2/03/21 CEB MINUTES FORM ISSUED 2/03/21 Private  
Respond to: OWNER  
Send to:  
Mail tracking #: GUSTILO, CRISTINA  
Name/address: 4938 16TH ST N  
SAINT PETERSBURG, FL 33703-3532

Telephone:  
Fax:  
Email:

2/18/21 TELEPHONE CONVERSATION COMPLETED 2/18/21 Private  
NARRATIVE: February 18, 2021 3:32:14 PM a4brown.  
Spoke with Keith Gustilo/452-8682, who has applied with the  
City for an after fact design variance. Asked him to keep us  
inform. Will remove from Code Enforcement Board Hearing  
while in process.

2/18/21 CASE REMOVED FROM CEB/SM COMPLETED 2/18/21 Private  
NARRATIVE: February 18, 2021 3:35:32 PM a4brown.  
Case removed from Code Enforcement Board hearing to City  
Process for design variance.

2/16/21 RETURN RECEIPT REC'D / CEB NOH COMPLETED 2/16/21 Private  
NARRATIVE: RETURN RECEIPT RECEIVED FOR THE CODE ENFORCEMENT BOARD  
NOTICE OF HEARING ADDRESSED TO: Cristina Gustilo  
SIGNED BY: Covid19  
DATED: 2/11/2021  
MARCH AGENDA ITEM #116

CASE TYPE	DISPOSITION	DATE ESTABLISHED	STATUS	STATUS DATE
Parcel Identification Nbr				
ADDRESS			TENANT NAME	TENANT NBR
PERMIT(S)	Public	8/27/20	ACTIVE	8/27/20
01/31/16/33876/000/0200/ 4938 16TH ST N SAINT PETERSBURG				
FL 337033532				
2/16/21	RETURN RECEIPT REC'D / CEB NOH NARRATIVE: February 19, 2021 3:44:07 PM ltgreene.	2/16/21	Private	2/19/21
3/18/21	REINSPECTION RSLT TEXT: March 8, 2021 3:33:09 PM sgleno. Violations existing at time of inspection	3/08/21	Private	SUSAN LENO 892-5176 3/08/21 3/08/21
3/08/21	POSTING NARRATIVE: March 8, 2021 3:33:43 PM sgleno. Posted B1 at violation address	3/08/21	Private	3/08/21 3/08/21
3/11/21	ELECTRONIC MAIL NARRATIVE: March 12, 2021 11:21:19 AM sgleno. Exchanged emails with supervisor regarding zoning variance and if this should be removed from hearing. Verified that Variance is in process and I should B1	3/11/21	Private	3/12/21 3/12/21 3/12/21
3/12/21	REINSPECTION RSLT TEXT: March 12, 2021 11:22:42 AM sgleno. Verified violation existing and variance is in process with Zoning Department.	3/12/21	Private	SUSAN LENO 892-5176 3/12/21 3/12/21 3/12/21
3/12/21	TELEPHONE CONVERSATION NARRATIVE: March 12, 2021 11:23:16 AM sgleno. Called Keith Gambaro (452-8682) to verify case has been removed from hearing.	3/12/21	Private	3/12/21 3/12/21 3/12/21
3/12/21	CASE REMOVED FROM CEB/SM NARRATIVE: March 12, 2021 11:26:57 AM sgleno. Removed to Zoning variance application	3/12/21	Private	3/12/21 3/12/21
4/29/21	REINSPECTION RQST TEXT: Check on variance	SCHEDULED	Private	SUSAN LENO 892-5176 3/12/21
TOTAL TIME:				
VOLATIONS:	DESCRIPTION	QTY	CODE	STATUS
DATE	PERMITS	1	352	ACTIVE
8/27/20	LOCATION:			
	NARRATIVE:			
	Metal carport/canopy erected at the rear of the structure without permits. Contact the permits department for further direction, 727-8993-7231			1/11/21 1/11/21 1/11/21
				RESOLVED

VIOLATIONS:

DATE	DESCRIPTION
8/27/20	PERMITS
	LOCATION:
	NARRATIVE:

QTY	CODE
1	352

STATUS:

ACTIVE

RESOLVED





#C8473A-D - 4/20/61 - \$550  
Owner Paul Chatelier - Replace  
garage doors with window and sheet  
rock walls and ceiling (Type VI)

#C4103A-R2 - 2/28/63 - \$300  
Owner Paul Chatelier - Reroof exist-  
ing residence over one roof Class C  
(Type VI) Rite Way Roofing & Siding,  
Contractor

#93851A-R2 - 5/14/64 - \$350  
Owner Dr. Paul Chatelier - Replace  
eight jalousie windows in existing  
residence with awning type (Type V)  
G. W. Schaller, Contractor

#24280-R2 - 3/19/74 - \$250  
Owner R.E. Schenck - 220' of 5'  
high wire fence and 36' of 5½'  
high decorative stone wall in rear  
yard area - By owner.

#27605-R2 - 8/19/74 - \$430  
Owner R. E. Schenck-Alum 8'x16  
utility bldg, with ground anchors-  
By owner

#61868 - RS75 - 3/2/79 - \$1,990  
Owner Forrest Maynard - remove old  
shingle roff and replace with new  
three tab seal down shingles (Type  
V) John Clement, Contractor

Keith Gambaro & Cristina Gustilo  
4938 16<sup>th</sup> Street North, St. Petersburg, FL 33703  
C# 727-452-8682 E: keithgambaro@yahoo.com

April 4, 2021

CITY OF ST. PETERSBURG

APR 08 2021

PLANNING & DEVELOPMENT SERVICES

Development Review Services Division  
1 4<sup>th</sup> Street North  
St. Petersburg, FL 33731

Case No: 21-58000002  
Request: Appeal for:  
Approval of an after-the-fact design variance to the NT-1 zoning district accessory structure design requirement.  
Address: 4938 16<sup>th</sup> St. N, St. Petersburg  
Parcel ID No.: 01-31-16-58914-004-0140

To whom it may concern:

This letter is an appeal in regards to the letter received dated March 29, 2021 for the above case number. We are appealing because the statement in the letter does not have the accurate information. For example, the home color pallet and accent color noted in the letter we received is inaccurate. Also, there are no awnings anywhere around the house.

We bought the home on 05/20/2020, the house color pallet is grey siding with dark blue accents and white doors. In comparison to the carport, the color pallet is consistent with the principal structure of the property. Please see attached photos of the current setup of the rear property which includes the carport.

At our zoom call with Shervon, the neighborhood worksheet that is to be completed, we were told that the neighbors listed would be contacted. We have since then spoken with those neighbors and they still have yet to be contacted. Also, we have not received an update in regards to the public participation report. How do we go about getting a status update?

We now know that the detached carport is not within zoning district standards but we are looking for an exception or other options. As noted in the design variance, we are willing to make modifications of the carport. Such as, lowering the height, changing the roof color to meet construction materials consistent to the principal structure. Also, what is to be considered a proper structure to hide the current structure from the corner side street view?

Sincerely,



Keith Gambaro & Cristina Gustilo